



# City of Appleton

100 North Appleton Street  
Appleton, WI 54911-4799  
www.appletonwi.gov

## Meeting Agenda - Final City Plan Commission

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Wednesday, April 9, 2025

3:30 PM

Council Chambers, 6th Floor

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1. Call meeting to order
2. Pledge of Allegiance
3. Roll call of membership
4. Approval of minutes from previous meeting

[25-0323](#) City Plan Minutes from 3-26-25

**Attachments:** [City Plan Minutes 3-26-25.pdf](#)

### 5. Public Hearing/Apearances

[25-0324](#) Special Use Permit #3-25 for a landscape business located at 727 West Weiland Avenue and neighboring lot (Tax Id #31-5-4311-00 and 31-5-4312-00), as shown on the attached development plan and per attached plan of operation, to run with the land subject to the conditions in the attached staff memo and approve attached Resolution (Associated with Action Item #25-0325)

**Attachments:** [PublicHearingClass2NoticeNewspaper\\_727WWeilandAve\\_SUP3-25.pdf](#)  
[PublicHearingNoticeNeighborhood\\_727WWeilandAve\\_SUP3-25.pdf](#)

[25-0326](#) Rezoning #1-25 for the subject parcels located at 1930 West College Avenue (Tax Id #31-7-0004-00 and 31-7-0004-02), 1932 West College Avenue (Tax Id #31-7-0006-00) and 120 North Woods Edge Drive (Tax Id #31-7-0004-01), including to the centerline of the adjacent street right-of-way, as shown on the attached maps, from M-2 General Industrial District to C-2 General Commercial District (Associated with Action Item #25-0327)

**Attachments:** [PublicHearingClass2NoticeNewspaper\\_Rezoning1-25.pdf](#)  
[PublicHearingNoticeNeighborhood\\_Rezoning1-25.pdf](#)

### 6. Action Items

[25-0325](#) Request to approve Special Use Permit #3-25 for a landscape business located at 727 West Weiland Avenue and neighboring lot (Tax Id #31-5-4311-00 and 31-5-4312-00), as shown on the attached development plan and per attached plan of operation, to run with the land subject to the conditions in the attached staff memo and approve attached Resolution (2/3 vote of Common Council required for approval)

**Attachments:** [StaffMemo 727WWeilandAve SUP 3-25 For 04-09-25.pdf](#)

[25-0327](#) Request to approve Rezoning #1-25 for the subject parcels located at 1930 West College Avenue (Tax Id #31-7-0004-00 and 31-7-0004-02), 1932 West College Avenue (Tax Id #31-7-0006-00) and 120 North Woods Edge Drive (Tax Id #31-7-0004-01), including to the centerline of the adjacent street right-of-way, as shown on the attached maps, from M-2 General Industrial District to C-2 General Commercial District

**Attachments:** [StaffMemo 1930WCollegeAv Rezoning For04-09-25.pdf](#)

[25-0328](#) Request to approve the Dorn Annexation consisting of approximately 95.949 acres located at 4700 North Richmond Street, currently in the Town of Grand Chute, as shown on the attached maps, subject to the stipulation in the attached staff memo

**Attachments:** [StaffMemo DornAnnexation For04-09-25.pdf](#)

[25-0329](#) Request to approve the location and architectural design of the proposed pavilion in Lundgaard Park located at 4900 N. Lightning Drive (Tax Id #31-1-7250-02) as shown on the attached site plan materials, in accordance with Wis. Stat. §62.23(5) pertaining to the location and architectural design of any public building

**Attachments:** [Memo PlanCommission SP#5-25 Lundgaard Park Phase II For4-9-25.pdf](#)

## 7. Information Items

## 8. Adjournment

*Notice is hereby given that a quorum of the Common Council may be present during this meeting, although no Council action will be taken.*

*Any questions about items on this meeting are to be directed to Kara Homan, Director, Community Development Department at 920-832-6468.*

*Reasonable Accommodations for Persons with Disabilities will be made upon Request and if Feasible.*



# City of Appleton

100 North Appleton Street  
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## Meeting Minutes - Final City Plan Commission

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Wednesday, March 26, 2025

3:30 PM

Council Chambers, 6th Floor

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1. Call meeting to order

Meeting called to order by Chair Mayor Woodford at 3:32 p.m.

2. Pledge of Allegiance

3. Roll call of membership

**Present:** 5 - Palm, Robins, Mayor Woodford, Neuberger and Fenton

**Excused:** 2 - Uitenbroek and Carpenter

*Others present:*

*David Baehr, Oshkosh Investment LLC*

4. Approval of minutes from previous meeting

[25-0265](#)

City Plan Minutes from 3-12-25

**Attachments:** [City Plan Minutes 3-12-25.pdf](#)

**Neuberger moved, seconded by Fenton, that the Minutes be approved. Roll Call. Motion carried by the following vote:**

**Aye:** 5 - Palm, Robins, Mayor Woodford, Neuberger and Fenton

**Excused:** 2 - Uitenbroek and Carpenter

5. **Public Hearing/Appearances**

[25-0266](#)

Special Use Permit #2-25 for a standalone off-street parking lot located at 131 North Appleton Street (Tax Id #31-2-0253-00), as shown on the attached development plan and per attached plan of operation, to run with the land subject to the conditions in the attached staff memo and approve attached Resolution (Associated with Action Item #25-0267)

**Attachments:** [PublicHearingClass2NoticeNewspaper\\_131NAppletonSt\\_SUP2-25.pdf](#)  
[PublicHearingNoticeNeighborhood\\_131NAppletonSt\\_SUP2-25.pdf](#)

*This public hearing was held and the following person spoke:*

- David Baehr, Oshkosh Investment LLC

**This public hearing was held, and David Baehr spoke on the item.**

## 6. Action Items

[25-0267](#)

Request to approve Special Use Permit #2-25 for a standalone off-street parking lot located at 131 North Appleton Street (Tax Id #31-2-0253-00), as shown on the attached development plan and per attached plan of operation, to run with the land subject to the conditions in the attached staff memo and approve attached Resolution (2/3 vote of Common Council required for approval)

**Attachments:** [StaffMemo\\_131NAppletonSt\\_SUP 2-25\\_For 3-26-25.pdf](#)

**Fenton moved, seconded by Palm, that Special Use Permit #2-25 be recommended for approval. Roll Call. Motion carried by the following vote:**

**Aye:** 5 - Palm, Robins, Mayor Woodford, Neuberger and Fenton

**Excused:** 2 - Uitenbroek and Carpenter

[25-0203](#)

Request to approve from Creative Downtown Appleton, Inc. to install a selfie sculpture on City-owned property located within Houdini Plaza at 121 West College Avenue (Tax Id #31-2-0065-00), in accordance with Wis. Stat. §62.23(5) pertaining to location of any statue or other memorial, as described in the attached documents and subject to the conditions in the attached staff memo (Consolidated Action Item)

**Attachments:** [ADI Selfie Sculpture Memo to PC 03-12-25.pdf](#)  
[ADI Selfie Sculpture Memo 03-20-25.pdf](#)  
[ADI Photo Op\\_Withdrawal 03-20-25.pdf](#)

*Applicant withdrew the item with no objection from the Commission. No action was taken on the item.*

## 7. Information Items

8. Adjournment

**Palm moved, seconded by Fenton, that the meeting be adjourned at 3:43 p.m.**

**Roll Call. Motion carried by the following vote:**

**Aye:** 5 - Palm, Robins, Mayor Woodford, Neuberger and Fenton

**Excused:** 2 - Uitenbroek and Carpenter

**CITY OF APPLETON**  
**NOTICE OF PUBLIC HEARING**  
**PROPOSED SPECIAL USE PERMIT**

NOTICE IS HEREBY GIVEN of a Public Hearing to be held before the City Plan Commission on Wednesday, April 9, 2025, at 3:30 P.M., in Council Chambers, 6th Floor, City Hall, 100 North Appleton Street, or as soon thereafter as can be heard, for the purpose of considering a Special Use Permit.

Pursuant to Sections 23-66 and 23-113 of the Appleton Municipal Code, to consider a request by David Witt, applicant, and Johde LLC, owner, to obtain a Special Use Permit for a landscape business located at 727 West Weiland Avenue and neighboring lot (Tax Id #31-5-4311-00 & 31-5-4312-00). In the C-2 General Commercial District, a Special Use Permit is required for a landscape business.

All persons interested are invited to attend this meeting and will be given an opportunity to be heard. Feedback can also be shared with Plan Commission members via written letter, email, or phone call. Any questions regarding this matter should be directed to Colin Kafka, Principal Planner, in the Community Development Department at (920) 832-6476 or by email at [colin.kafka@appletonwi.gov](mailto:colin.kafka@appletonwi.gov).

CITY PLAN COMMISSION  
APPLETON, WISCONSIN

COMMUNITY DEVELOPMENT DEPARTMENT  
CITY HALL - 100 NORTH APPLETON STREET  
APPLETON, WISCONSIN 54911-4799  
(920) 832-6468

*Reasonable accommodations for persons with disabilities will be made upon request and if feasible.*

RUN: March 25, 2025  
April 1, 2025

**NOTICE OF PUBLIC HEARING**  
**OF THE**  
**APPLETON CITY PLAN COMMISSION**

Dear property owner(s):

The City of Appleton Plan Commission will conduct a Public Hearing on Wednesday, April 9, 2025, at 3:30 P.M., or as soon thereafter as can be heard, in Common Council Chambers, 6th Floor, City Hall, 100 North Appleton Street, for the purpose of considering the following proposed Special Use Permit:

- Pursuant to Sections 23-66 and 23-113 of the Appleton Municipal Code, to consider a request by David Witt, applicant, and Johde LLC, owner, to obtain a Special Use Permit for a landscape business located at 727 West Weiland Avenue and neighboring lot (Tax Id #31-5-4311-00 & 31-5-4312-00). In the C-2 General Commercial District, a Special Use Permit is required for a landscape business.
  
- ALDERMANIC DISTRICT: 6 – Alderperson Denise Fenton

All persons interested are invited to attend this meeting and will be given an opportunity to be heard. Feedback can also be shared with Plan Commission members via written letter, email, or phone call. The Plan Commission makes a recommendation to the Common Council who makes the final decision on the matter.

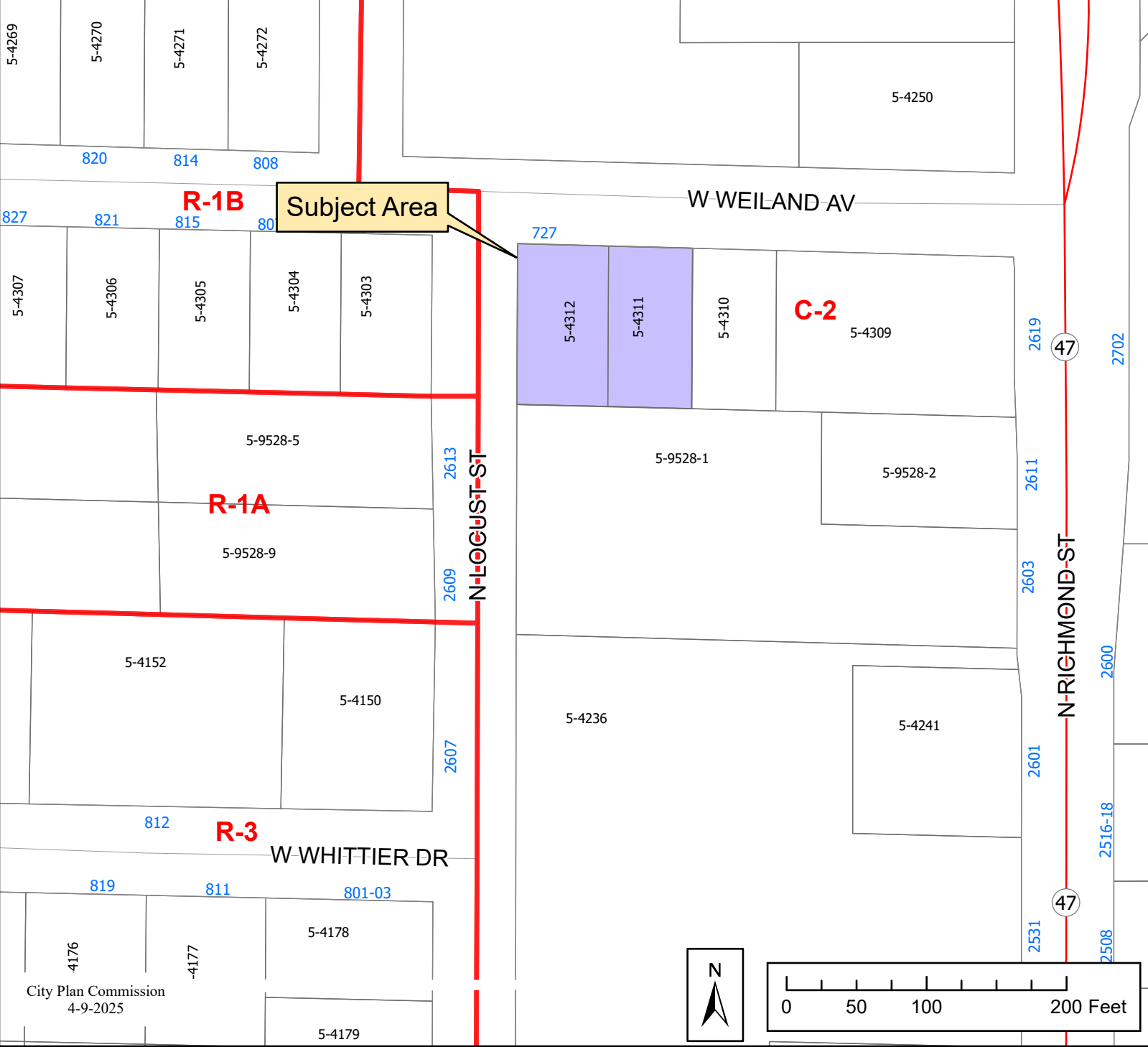
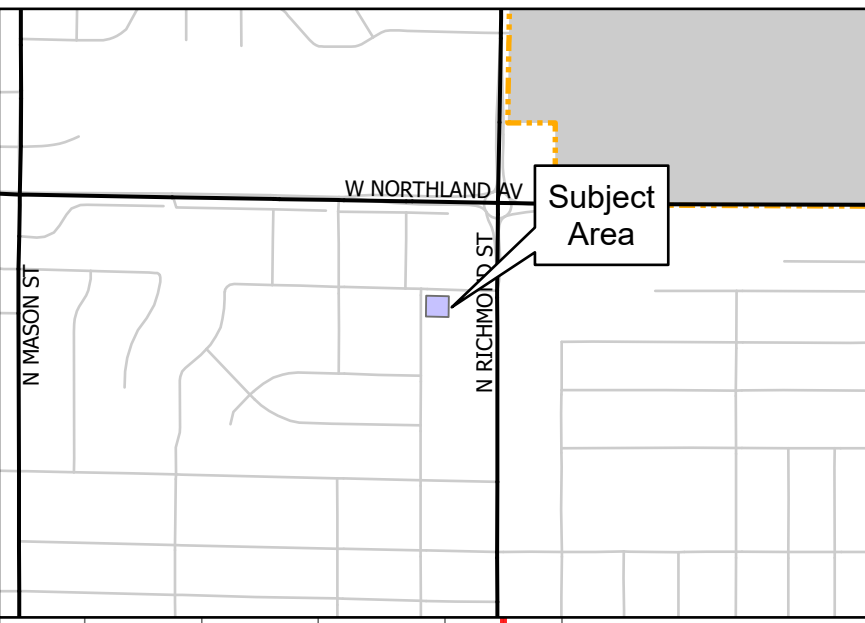
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Special Use Permit  
Landscape Business in  
C-2 General Commercial District  
727 W. Weiland Ave



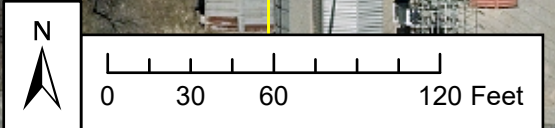


Special Use Permit  
Landscape Business in  
C-2 General Commercial District  
727 W. Weiland Ave  
Aerial Map

Subject Area

W WEILAND AV

N LOCUST ST



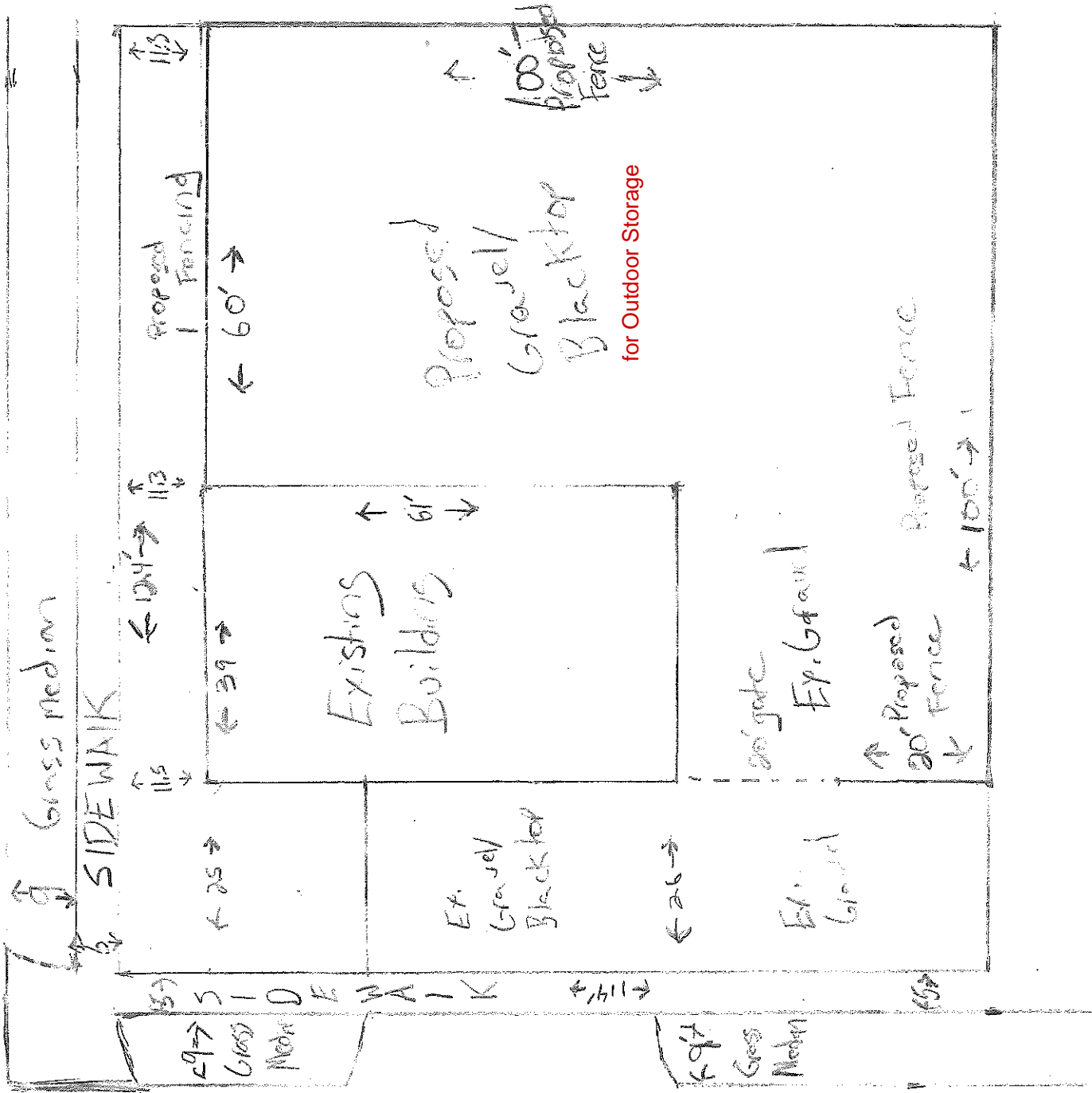
Special Use Permit

Landscape Business in C-2  
General Commercial District

727 W. Weiland Ave.

Development Plan

727 W Weiland Ave  
Site Plan



**CITY OF APPLETON**  
**NOTICE OF PUBLIC HEARING**  
**PROPOSED REZONING**

NOTICE IS HEREBY GIVEN of a Public Hearing to be held before the City Plan Commission on Wednesday, April 9, 2025, at 3:30 P.M., in Council Chambers, 6th Floor, City Hall, 100 North Appleton Street, or as soon thereafter as can be heard, for the purpose of considering a zone change.

A rezoning request has been initiated by the owners, Gary & Pamela Bichel, and applicant, Brewski Enterprises/John Onopa, in the matter of amending Chapter 23 (Zoning Ordinance) of the Municipal Code of the City of Appleton for the below-described real estate, which is currently zoned M-2 General Industrial District. The owner and applicant propose to rezone the property to C-2 General Commercial District. The C-2 district is intended to provide for businesses which serve city and regional markets; provide goods and services to other businesses, as well as consumers, provide services to automobiles and serve the traveling public.

**Common Description:**

1930 W. College Avenue (Tax ID #31-7-0004-00 & #31-7-0004-02), 1932 W. College Avenue (Tax ID #31-7-0006-00) and 120 N. Woods Edge Drive (Tax ID #31-7-0004-01), including to the centerline of the adjacent street right-of-way.

**Legal Description:**

Parcel No. 31-7-0004-00

ALL OF LOT 1 OF CERTIFIED SURVEY MAP NUMBER 6849 RECORDED AS DOCUMENT NUMBER 2020092, LOCATED IN PART OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHEAST QUARTER(SE1/4) AND PART OF THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION TWENTY-EIGHT (28), TOWNSHIP TWENTY-ONE (21) NORTH, RANGE SEVENTEEN (17) EAST, CITY OF APPLETON, OUTAGAMIE COUNTY, WISCONSIN, INCLUDING TO THE CENTER LINE OF THE ADJACENT PUBLIC RIGHT-OF-WAY.

Parcel No. 31-7-0004-01

ALL OF LOT 2 OF CERTIFIED SURVEY MAP NUMBER 4793 RECORDED AS DOCUMENT NUMBER 1608336, LOCATED IN PART OF THE EAST HALF (E1/2) OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION TWENTY-EIGHT (28), TOWNSHIP TWENTY-ONE (21) NORTH,

RANGE SEVENTEEN (17) EAST, CITY OF APPLETON, OUTAGAMIE COUNTY, WISCONSIN INCLUDING TO THE CENTER LINE OF THE ADJACENT PUBLIC RIGHT-OF-WAY.

Parcel No. 31-7-0004-02

ALL OF LOT 2 OF CERTIFIED SURVEY MAP NUMBER 6849 RECORDED AS DOCUMENT NUMBER 2020092, LOCATED IN PART OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHEAST QUARTER(SE1/4) AND PART OF THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION TWENTY-EIGHT (28), TOWNSHIP TWENTY-ONE (21) NORTH, RANGE SEVENTEEN (17) EAST, CITY OF APPLETON, OUTAGAMIE COUNTY, WISCONSIN.

Parcel No. 31-7-0006-00

ALL OF LOT 2 OF CERTIFIED SURVEY MAP NUMBER 2899 RECORDED AS DOCUMENT NUMBER 1232645, LOCATED IN PART OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHEAST QUARTER(SE1/4) AND PART OF THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION TWENTY-EIGHT (28), TOWNSHIP TWENTY-ONE (21) NORTH, RANGE SEVENTEEN (17) EAST, CITY OF APPLETON, OUTAGAMIE COUNTY, WISCONSIN, INCLUDING TO THE CENTER LINE OF THE ADJACENT PUBLIC RIGHT-OF-WAY.

All persons interested are invited to attend this meeting and will be given an opportunity to be heard. Feedback can also be shared with Plan Commission members via written letter, email, or phone call. Any questions regarding this matter should be directed to Colin Kafka, Principal Planner, in the Community Development Department at (920) 832-6476 or by email at [colin.kafka@appletonwi.gov](mailto:colin.kafka@appletonwi.gov).

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RUN: March 25, 2025  
April 1, 2025

**NOTICE OF PUBLIC HEARING**  
**OF THE**  
**APPLETON CITY PLAN COMMISSION**

Dear property owner(s):

The City of Appleton Plan Commission will conduct a Public Hearing on Wednesday, April 9, 2025, at 3:30 P.M., or as soon thereafter as can be heard, in Common Council Chambers, 6th Floor, City Hall, 100 North Appleton Street, for the following proposed rezoning request.

**Common Description:**

1930 W. College Avenue (Tax ID #31-7-0004-00 & #31-7-0004-02), 1932 W. College Avenue (Tax ID #31-7-0006-00) and 120 N. Woods Edge Drive (Tax ID #31-7-0004-01), including to the centerline of the adjacent street right-of-way.

**Rezoning Request:** A rezoning request has been initiated by the owners, Gary & Pamela Bichel, and applicant, Brewski Enterprises/John Onopa, in the matter of amending Chapter 23 (Zoning Ordinance) of the Municipal Code of the City of Appleton for the above-described real estate, which is currently zoned M-2 General Industrial District. The owner and applicant propose to rezone the property to C-2 General Commercial District (see attached maps). The C-2 district is intended to provide for businesses which serve city and regional markets; provide goods and services to other businesses, as well as consumers, provide services to automobiles and serve the traveling public.

**Purpose of the Rezoning:** The rezoning will establish legally conforming parcels to facilitate a certified survey map between the subject parcels.

**Aldermanic District:** 10 – Alderperson Vaya Jones

You are being notified as a policy of the City of Appleton Community Development Department. All persons interested are invited to attend this meeting and will be given an opportunity to be heard. Feedback can also be shared with Plan Commission members via written letter or email. The Plan Commission makes a recommendation to the Common Council who makes the final decision on the matter.

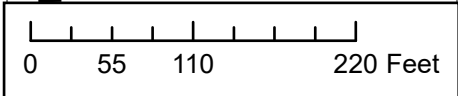
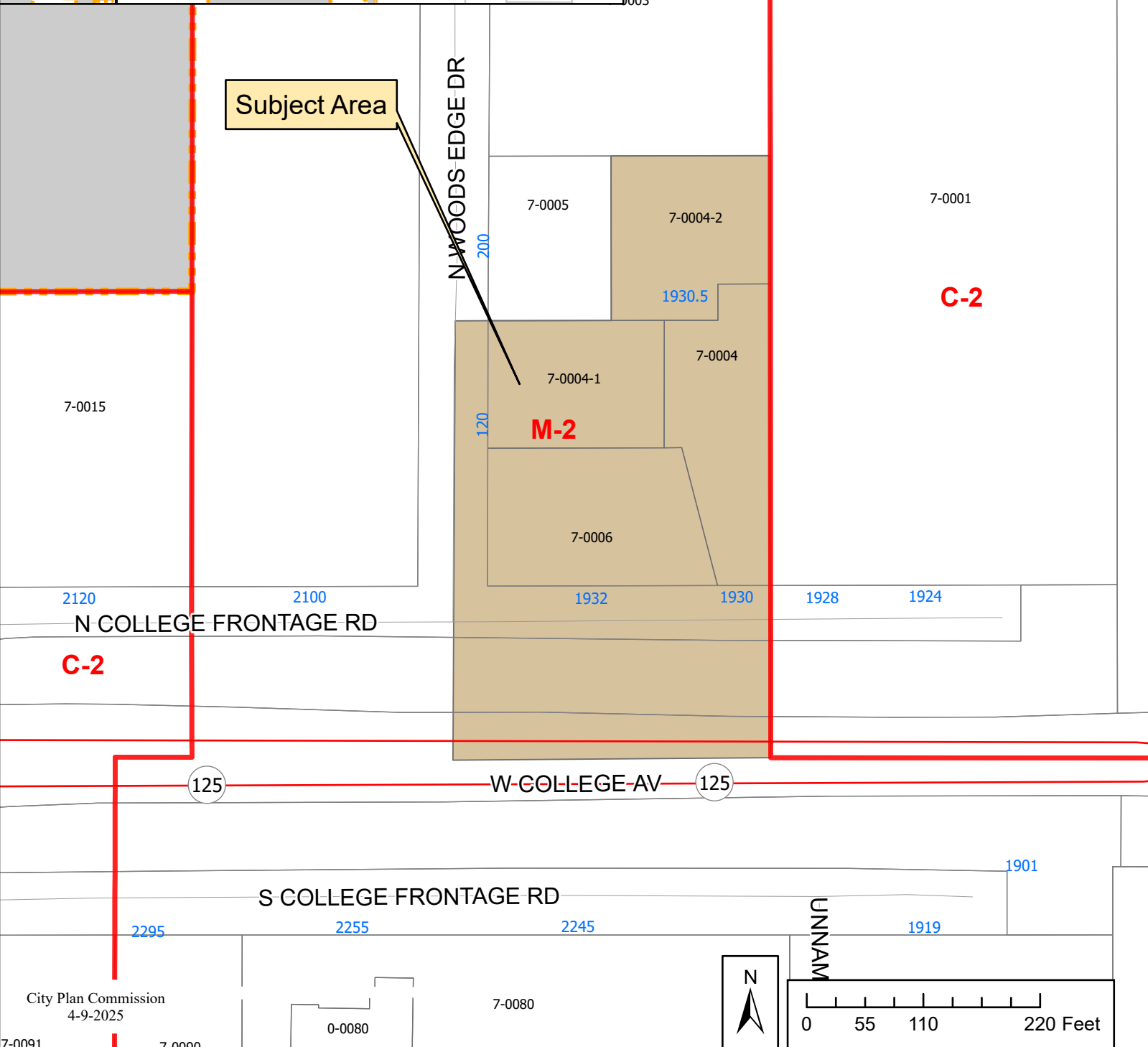
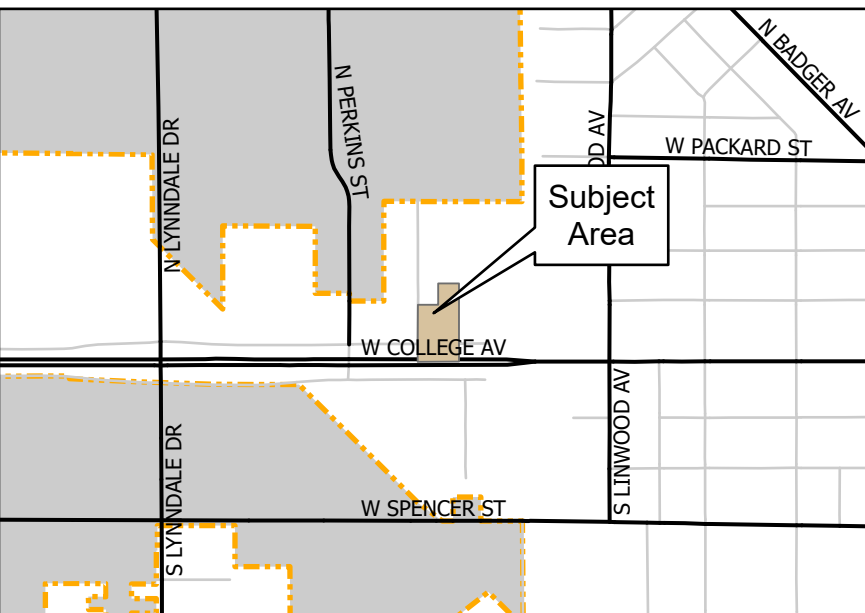
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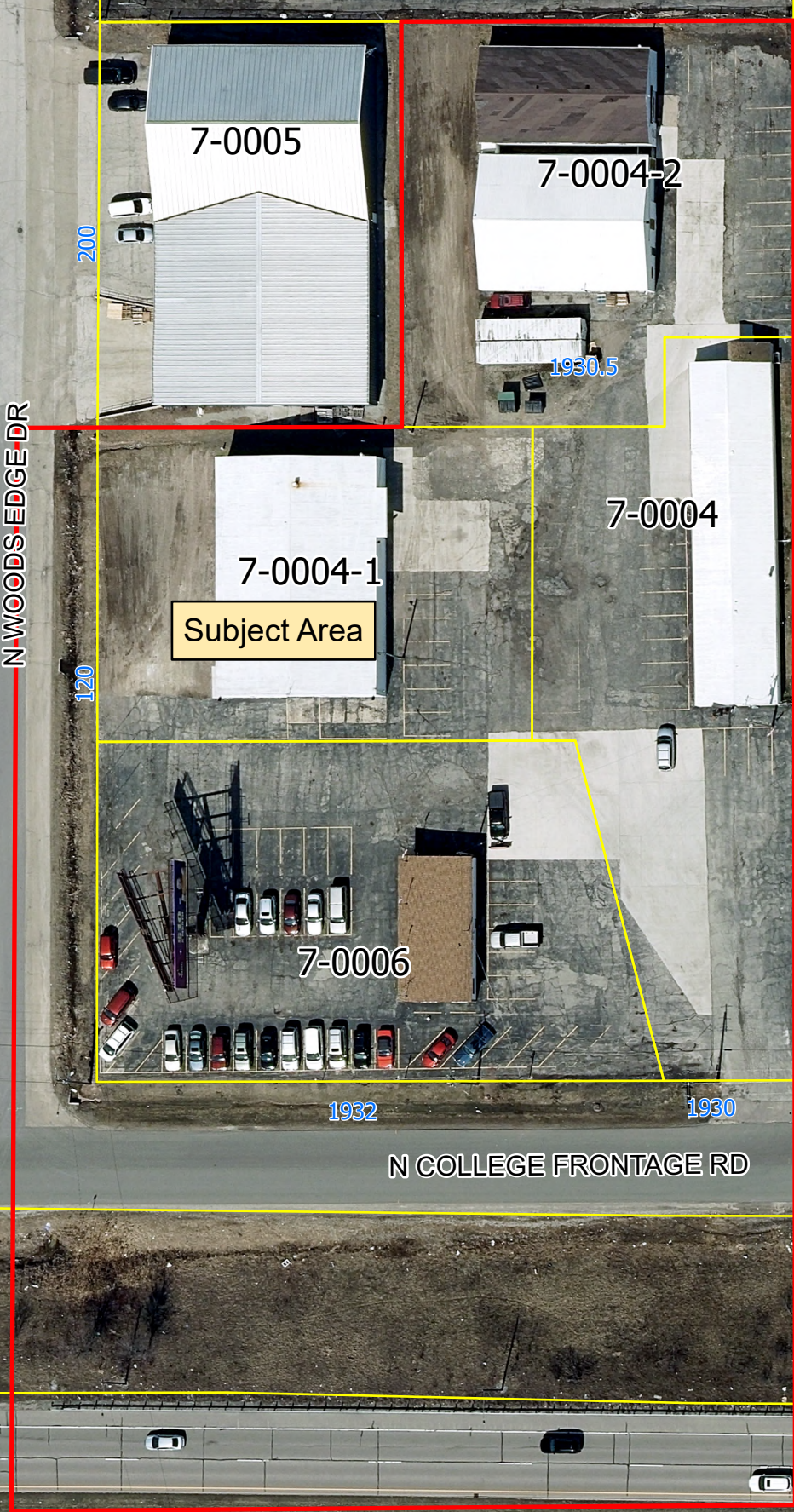
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# Rezoning M-2 General Industrial District to C-2 General Commercial District Zoning Map



Rezoning M-2 General Industrial District to C-2 General Commercial District  
Aerial Map



N WOODS EDGE DR

200

120

7-0005

7-0004-2

1930.5

7-0004-1

Subject Area

7-0004

7-0006

1932

1930

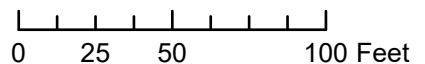
1928

N COLLEGE FRONTAGE RD

125

125

W COLLEGE AV





# CITY OF APPLETON

## MEMORANDUM

**Date:** April 9, 2025  
**To:** Plan Commission  
**From:** Colin Kafka, Principal Planner  
**Subject:** Special Use Permit #3-25 for a Landscape Business in the C-2 General Commercial District.

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## GENERAL INFORMATION

**Owner/Applicant:** John Samsa, JOHDE LLC. / David Witt, Down to Earth Landscaping LLC.

**Address/Parcel Number:** 727 West Weiland Avenue (Tax Id #31-5-4311-00 and 31-5-4312-00)

**Petitioner's Request:** The applicant is requesting a Special Use Permit for a Landscape Business located in the C-2 General Commercial District

**Plan Commission Public Hearing Date:** April 9, 2025

**Common Council Meeting Date:** April 16, 2025

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## BACKGROUND

1940 Parcel #31-5-4312-00 platted as North Heights Subdivision Lot 5 Block 7 and Parcel #31-5-4311-00 platted as North Heights Subdivision Lot 4 Block 7

1979 2,400 square foot contractor office building constructed

2025 CSM #3-25 submitted by applicant, with owner approval, to combine the two parcels. Currently under staff review.

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## STAFF ANALYSIS

**Existing Site Conditions:** A 2,400 square foot building, built in 1979, is situated on parcel #31-5-4312-00 and was previously used as a contractor's office. The building consists of office space fronting W. Weiland Avenue with the remaining portion consisting of a service bay with an overhead door fronting N. Locust Street. Vehicle access to both parcels is provided by a curb cut on N. Locust Street. Parcel #31-5-4311-00 has remained vacant since being platted in 1940.



**Project Summary:** The applicant, with owner approval, proposes to use parcels #31-5-4312-00 and #31-5-4311-00 for a landscape business, Down to Earth Landscaping LLC. The applicant proposes to use the existing 2,400 square foot building on parcel #31-5-4312-00 as an office and indoor storage space for the landscape business. The applicant also intends to use the currently vacant parcel #31-5-4311-00 as a fenced, outdoor storage area for the storage of equipment, vehicles, and materials related to the landscape business. Prior to the issuance of any building permits for a fenced, outdoor storage area, the parcels will need to be combined via a Certified Survey Map (CSM) as an outdoor storage area is not permitted as a standalone use on a parcel zoned C-2 General Commercial. The applicant, with owner approval, intends to combine the adjacent vacant parcel #31-5-4311-00 with parcel #31-5-4312-00 via Certified Survey Map (CSM) to facilitate the development of an outdoor storage area that is compliant with Section 23-46(b) of the Municipal Code.

**Operational Information:** A plan of operation is attached to the staff report.

**Current Zoning and Procedural Findings:** The subject property has a zoning designation of C-2 General Commercial District. Per Section 23-113(e) of the Municipal Code, a landscape business requires a Special Use Permit in the C-2 General Commercial District. To permit a landscape business, the Plan Commission makes a recommendation to the Common Council who will make the final decision on the Special Use Permit. A two-thirds (2/3) vote of the Common Council is required for approval.

**Surrounding Zoning and Land Uses:** The surrounding area is under the jurisdiction of the City of Appleton (north, south, east, and west). The uses are generally commercial and residential in nature.

North: C-2 General Commercial District. The adjacent land use to the north is currently commercial (Pharmacy and Bank).

South: C-2 General Commercial District. The adjacent land use to the south is currently commercial (Motel).

East: C-2 General Commercial District. The adjacent land use to the east is currently commercial (Gas Station).

West: R1-B Single Family District. The adjacent land use to the west is currently single family residential.

**Appleton Comprehensive Plan 2010-2030:** Community Development staff reviewed this proposal and determined it appears to be consistent with the Commercial designation shown on the City's *Comprehensive Plan 2010-2030* Future Land Use Map. Listed below are related excerpts from the City's *Comprehensive Plan 2010-2030*.

*Goal 8 – Economic Development*

*Appleton will pursue economic development that retains and attracts talented people, brings good jobs to the area, and supports the vitality of its industrial areas, downtown, and neighborhood business districts.*

**Development Review Team (DRT) Report:** This item appeared on the March 18, 2025 DRT agenda. No negative comments were received from participating departments.

## Future Actions:

- The owner shall combine the two parcels via the CSM process prior to establishing an outdoor storage area. The CSM shall be signed and recorded prior to the issuance of any permits to establish an outdoor storage area.
- The applicant shall apply for, and receive approval of, a building permit from the Inspections Division prior to the construction of the fence for the purpose of screening the items stored in the outdoor storage area to comply with Section 23-46(b) of the Municipal Code.

**Zoning Ordinance Requirements and Substantial Evidence:** When reviewing an application for a Special Use Permit, the City must determine if the applicant's proposal satisfies Municipal Code requirements and conditions. Pursuant to Section 23-66(c)(5) of the Municipal Code, the Plan Commission and Common Council must provide substantial evidence supporting their decision to approve, approve with conditions, or deny the Special Use Permit. Substantial evidence means "facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a Special Use Permit and that reasonable persons would accept in support of a conclusion." Any requirements and conditions listed for approval must be reasonable, and to the extent practicable, measurable.

**Finding of Fact:** This request was reviewed in accordance with the standards for granting a Special Use Permit under Section 23-66(e)(1-8) of the Municipal Code: *1. proper zoning district:* C-2 zoning allows for a landscape business as a special use permit; *2. zoning district regulations:* the district regulations appear to be satisfied pursuant to the attached development plan; *3. special regulations:* there are no special regulations established in Section 23-66 for landscape business; *4. consistent with comprehensive plan and other plans:* yes, see above analysis; *5. traffic:* the proposed use is not expected to create undue traffic congestion; *6. landscaping and screening:* landscaping and screening of any future outdoor storage area shall be reviewed via the fence permit process to ensure compliance with section 23-46(b) of the Municipal Code; *7. neighborhood compatibility with predominant land uses in this area:* the proposed use is located near other similar uses in this area of City; *8. impact on services:* the City has existing utilities, services and equipment in place to serve this proposed use. These standards were found in the affirmative, as long as all stipulations are satisfied.

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## RECOMMENDATION

Staff recommends, based on the above analysis, that Special Use Permit #3-25 for landscape business at 727 West Weiland Avenue (Tax Id #31-5-4311-00 and 31-5-4312-00), as shown on the attached development plan and per attached plan of operation, along with the attached resolution, **BE APPROVED** to run with the land, subject to the following conditions:

1. All applicable codes, ordinances, and regulations, including but not limited to Fire and Building Codes, shall be complied with.

*Substantial Evidence: Standardized condition that notifies the applicant that all Municipal Code, Ordinances, and Regulations must be complied with.*

2. All required permits shall be applied for and obtained by the applicant prior to construction and/or occupancy of the subject site.

*Substantial Evidence: This condition notifies the applicant that all required permits must be obtained before occupancy of the site and any future developments on the site.*

3. The outdoor storage of landscape business-related equipment, vehicles, materials, etc. shall comply with Section 23-46(b)(1-4) of the Zoning Ordinance at all times.

*Substantial Evidence: This condition notifies the applicant of the specific zoning code regulations that apply to the outdoor storage of business property, goods, wares or merchandise that is not located in a specific area for customer viewing or immediate sale. Any future outdoor storage must comply with all applicable codes.*

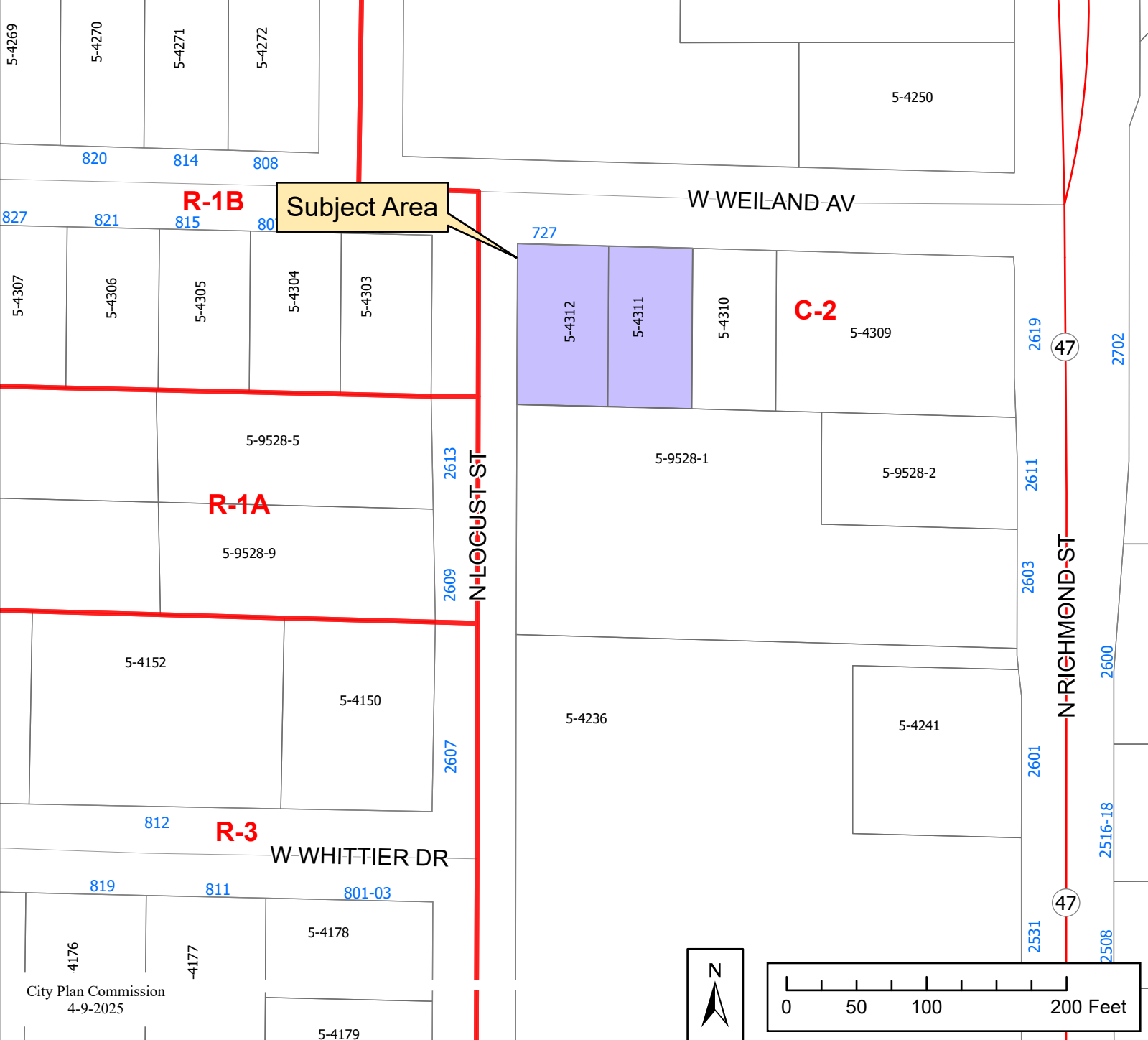
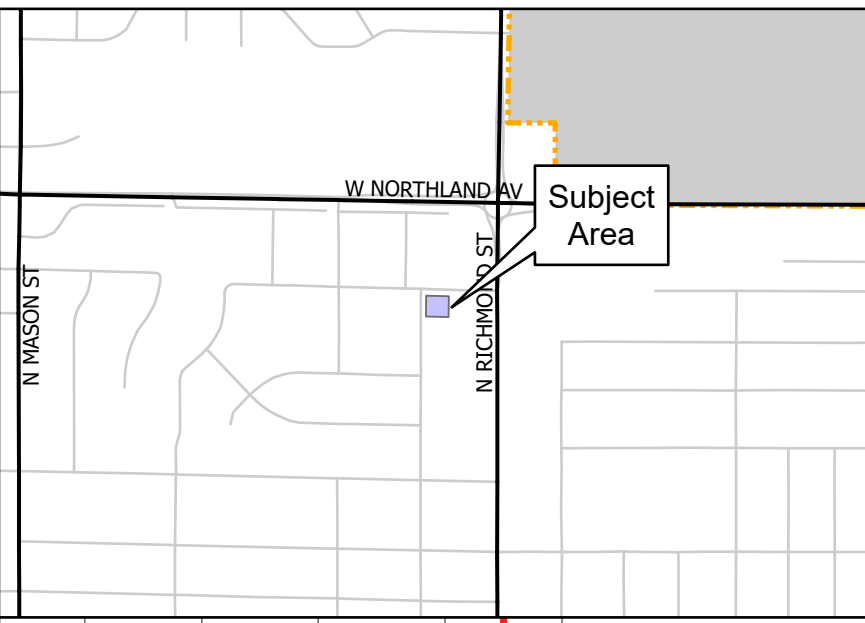
4. The Special Use Permit shall be deemed null and void if the use is abandoned for a period of twelve (12) consecutive months, a building permit and/or occupancy permit has not been obtained, or the use has not been established within twelve (12) months after Common Council approval, pursuant to Section 23-66(f)(1) of the Municipal Code.

*Substantial Evidence: Standardized condition that establishes an expiration of twelve (12) months for the current application if a building permit has not been obtained or the use has not been established.*

5. Any deviations from the approved development plan or plan of operation may require a major or minor amendment request to this Special Use Permit, pursuant to Section 23-66(g) of the Municipal Code. Exact location and height of any future fencing for an outdoor storage area shall be reviewed as part of the permitting process to ensure compliance with Section 23-46(b) of the Municipal Code.

*Substantial Evidence: Standardized condition that establishes parameters for the current application and identifies the process for review of any future changes to this proposed use.*

Special Use Permit  
Landscape Business in  
C-2 General Commercial District  
727 W. Weiland Ave

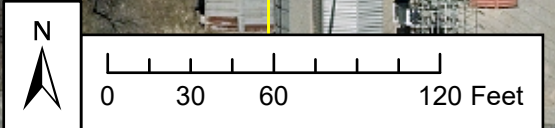


Special Use Permit  
Landscape Business in  
C-2 General Commercial District  
727 W. Weiland Ave  
Aerial Map

Subject Area

W WEILAND AV

N LOCUST ST



**CITY OF APPLETON  
RESOLUTION FOR SPECIAL USE PERMIT #3-25  
LANDSCAPE BUSINESS  
727 WEST WEILAND AVENUE**

**WHEREAS**, David Witt, has applied for a Special Use Permit to establish a Landscape Business located at 727 West Weiland Avenue, also identified as Parcel Numbers #31-5-4311-00 and 31-5-4312-00; and

**WHEREAS**, the proposed use is located in the C-2 General Commercial District, and the proposed use may be permitted by Special Use Permit within this zoning district pursuant to Chapter 23 of the Municipal Code; and

**WHEREAS**, the City of Appleton Plan Commission held a public hearing on April 9, 2025 on Special Use Permit #3-25, at which all those wishing to be heard were allowed to speak or present written comments and other materials at the public hearing; and

**WHEREAS**, the City of Appleton Plan Commission has reviewed and considered the Community Development Department's staff report and recommendation, as well as other spoken and written evidence and testimony presented at the public hearing; and

**WHEREAS**, the City of Appleton Plan Commission reviewed the standards for granting a Special Use Permit under Sections 23-66(e)(1-8) of the Municipal Code; and

**WHEREAS**, the City of Appleton Plan Commission reviewed the standards for imposing conditions on the Special Use Permit under Section 23-66(c)(5) of the Municipal Code, and forwarded Special Use Permit #3-25 to the City of Appleton Common Council with a favorable conditional or not favorable (CIRCLE ONE) recommendation; and

**WHEREAS**, the City of Appleton Common Council has reviewed the report and recommendation of the City of Appleton Plan Commission at their meeting on April 16, 2025.

**NOW, THEREFORE, BE IT RESOLVED, DETERMINED AND ORDERED** by the Common Council, based on Community Development Department's staff report and recommendation, as well as other spoken and written evidence and testimony presented at the public hearing and Common Council meeting, and having considered the recommendation of the City Plan Commission, that the Common Council:

1. Determines all standards listed under Sections 23-66(e)(1-8) of the Municipal Code are found in the affirmative YES or NO (CIRCLE ONE)
2. If NO, the City of Appleton Common Council hereby denies Special Use Permit #3-25 to establish a Landscape Business located at 727 West Weiland Avenue, also identified as Parcel Numbers #31-5-4311-00 and 31-5-4312-00 based upon the following standards and determinations: (List reason(s) why the Special Use Permit was denied)
3. If YES, the City of Appleton Common Council hereby approves Special Use Permit #3-25 to establish a Landscape Business located at 727 West Weiland Avenue, also identified as Parcel Numbers #31-5-4311-00 and 31-5-4312-00, subject to the following conditions as they are related to the purpose of the City of Appleton Municipal Code and based on substantial evidence:

**CONDITIONS OF APPROVAL FOR SPECIAL USE PERMIT #3-25:**

- A. All applicable codes, ordinances, and regulations, including but not limited to Fire and Building Codes, shall be complied with.
- B. All required permits shall be applied for and obtained by the applicant prior to construction and/or occupancy of the subject site.
- C. The outdoor storage of landscape business-related equipment, vehicles, materials, etc. shall comply with Section 23-46(b)(1-4) of the Zoning Ordinance at all times.
- D. The Special Use Permit shall be deemed null and void if the use is abandoned for a period of twelve (12) consecutive months, a building permit and/or occupancy permit has not been obtained, or the use has not been established within twelve (12) months after Common Council approval, pursuant to Section 23-66(f)(1) of the Municipal Code.
- E. Any deviations from the approved development plan or plan of operation may require a major or minor amendment request to this Special Use Permit, pursuant to Section 23-66(g) of the Municipal Code. Exact location and height of any future fencing for an outdoor storage area shall be reviewed as part of the permitting process to ensure compliance with Section 23-46(b) of the Municipal Code.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Jacob A. Woodford, Mayor

ATTEST:

\_\_\_\_\_  
Kami Lynch, City Clerk

**PLAN OF OPERATION AND LOCATIONAL INFORMATION**

**Business Information:**

Name of business: Down to Earth Landscaping

Years in operation: 13

Type of proposed establishment (detailed explanation of business):

Day to Day office work

Equipment and tool storage

Loading and unloading tools and equipment during and between jobs

**Proposed Hours of Operation:**

Day	From	To
Monday thru Thursday	7:00 am	5:00 pm
Friday	7:00 am	5:00 pm
Saturday	7:00 am	Noon
Sunday		

**Building Capacity and Storage Areas:**

Maximum number of persons permitted to occupy the building or tenant space as determined by the International Building Code (IBC) or the International Fire Code (IFC), whichever is more restrictive: \_\_\_\_\_ persons

Gross floor area of the existing building(s):

2400 sq ft

Gross floor area of the proposed building(s):

2400 sq ft

Identify location, number, capacity and flammable liquid materials stored in storage tanks or containers:

a 43 x 34 x 65" gas safety storage cabinte that holds gas cans (up to 90 gals.) will be stored in the shop area



**Odor:**

Describe any potential smoke, odors emanating from the proposed use and plans to control them:  
diesel trucks starting and coming and going occasionally. Most jobs are larger and don't take place at the shop

**Noise:**

Describe the noise levels anticipated from the proposed use and all mechanical equipment:  
Just trucks loading and unloading equipment during business hours

How will the noise be controlled?  
noise will not be constant and only vehicles and equipment moving once in a while. A majority of work takes place off of site.

**Outdoor Lighting:**

Type: \_\_\_\_\_  
Location: Just the pre-existing lights on the building

**Off-Street Parking:**

Number of spaces existing on-site: 4  
Number of spaces proposed on-site: 4

**Street Access:**

Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?  
Everything is adequate. Traffic will not be increasing.

**Outdoor Uses:**

Size: 9,425 square feet

Type and location of outdoor storage area(s) of business property, goods, or merchandise not intended for customer viewing or immediate sale:  
on side of building behind the privacy fence

Type and height of screening of plantings/fencing/gating for outdoor storage area(s):  
6' foot chainlink fencing with black privacy slats  
also landscaping in front of fencing to make it look pretty

Type, location, size of outdoor display area(s) of merchandise for sale or other business property:  
no outdoor display or merchandise for sale

**Number of Employees:**

Number of existing employees: 4

Number of proposed employees: 4

Number of employees scheduled to work on the largest shift: 4

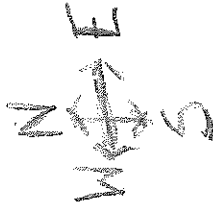
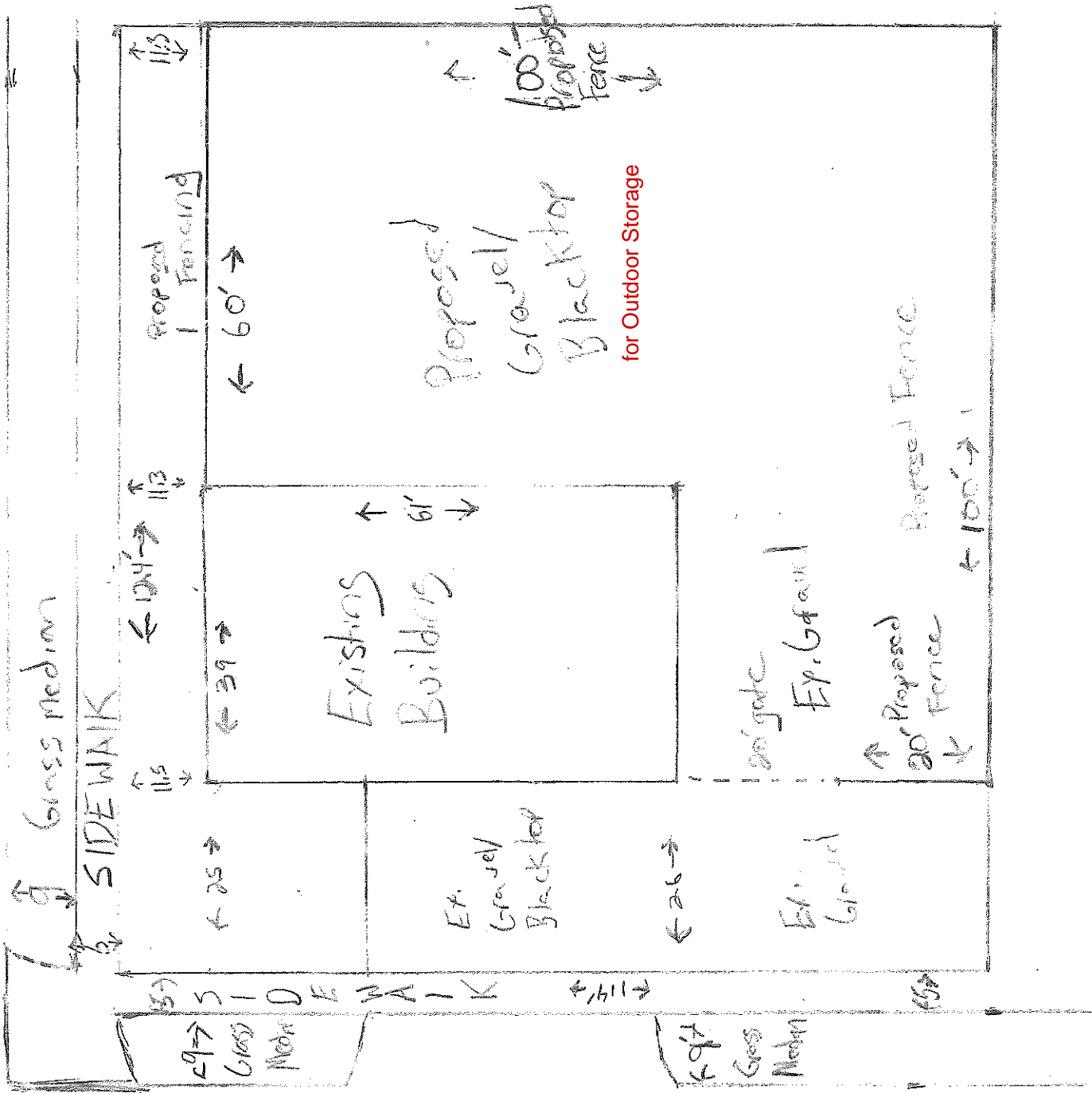
Special Use Permit

Landscape Business in C-2  
General Commercial District

727 W. Weiland Ave.

Development Plan

727 W Weiland Ave  
Site Plan



1"=20'



# CITY OF APPLETON

## MEMORANDUM

**Date:** April 9, 2025  
**To:** City Plan Commission  
**From:** Colin Kafka, Principal Planner  
**Subject:** Rezoning # 1-25 – 1930 W. College Ave, 1932 W. College Ave, and 120 N. Woods Edge Dr – M-2 General Industrial District to C-2 General Commercial District

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## GENERAL INFORMATION

**Owner/Applicant:** Gary & Pamela Bichel (owner) and Brewski Enterprises/John Onopa (applicant)

**Address/Parcel Number:** 1930 W. College Avenue (Tax ID #31-7-0004-00 & #31-7-0004-02), 1932 W. College Avenue (Tax ID #31-7-0006-00) and 120 N. Woods Edge Drive (Tax ID #31-7-0004-01)

**Applicant's Request:** Applicant, with owner approval, proposes to rezone the subject parcels from M-2 General Industrial District to C-2 General Commercial District. The request is being made to facilitate the combination of parcels 31-7-0004-00, 31-7-0004-02, 31-7-0006-00, and 31-7-0004-01 with a portion of adjacent parcel 31-7-0001-00 which is zoned C-2 General Commercial. The applicant proposes to redevelop the site for a microbrewery by reusing and renovating the existing buildings.

**Plan Commission Public Hearing Meeting Date:** April 9, 2025

**Common Council Meeting Date:** April 16, 2025

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## BACKGROUND

1964	1,320 square foot concrete block building constructed on parcel 31-7-0006-00
1971	3,200 square foot utility shed constructed on parcel 31-7-0004-02, 5,460 square foot metal warehouse constructed on parcel 31-7-0004-01, and 4,291 square foot pole frame building constructed on parcel 31-7-0004-00
1976	2,304 square foot utility shed constructed on parcel 31-7-0004-02
1983	West College Avenue Annexation (Town of Grand Chute to City of Appleton)
2025	The applicant is interested in developing the site for a microbrewery.
2025	CSM #2-25 submitted by applicant for staff review

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## STAFF ANALYSIS

**Existing Site Conditions:** The subject parcels combined are approximately 2.1 acres in size and are located at the corner of North Woods Edge Drive and North College Frontage Road. Each parcel is developed with at least one building, a 1,320 square foot concrete block building is located on parcel 31-7-0006-00, one 3,200 square foot utility shed and one 2,304 square foot utility shed on parcel 31-7-0004-02, a 5,460 square foot metal warehouse on parcel 31-7-0004-01, and a 4,291 square foot pole frame building on parcel 31-7-0004-00. Off-street parking is provided on each parcel and access to parcels 31-7-0004-01, 31-7-0004-02, and 31-7-0006-00 is provided via an ingress/egress easement on parcel 31-7-0004-00.

**Existing Nonconforming Development Standards:** Each parcel currently does not conform with the maximum lot coverage requirement in the M-2 District; however, the historically allowed nonconforming impervious surface lot coverage percentage may be allowed to continue pursuant to the applicable current requirements and subsequent amendments to Chapter 23 Zoning. At the concept plan review stage, the proposed development showed the amount of impervious surface coverage decreased. Future redevelopment will be reviewed via the site plan review process in accordance with Section 23-570 of the Municipal Code.

**Surrounding Zoning and Land Uses:** The surrounding zoning and uses (north, south, east, and west) are generally industrial and commercial in nature.

North: M-2 General Industrial District. The adjacent land uses to the north are industrial (gasket manufacture and industrial automation products).

South: M-2 General Industrial District. The adjacent land uses to the south are industrial (car dealership and warehouse).

East: C-2 General Commercial District. The adjacent land use to the east is commercial (thrift store).

West: The adjacent land use to the west is industrial (warehouse/wholesaler).

**Appleton Comprehensive Plan 2010-2030:** The City of Appleton 2010-2030 Comprehensive Plan Map identifies the subject area as future commercial development. The proposed rezoning is consistent with the following goals and objectives of the *Comprehensive Plan 2010-2030*.

*Goal 1 – Community Growth*

*Appleton will continue to provide opportunities for residential, commercial, and industrial growth, including appropriate redevelopment sites within the downtown and existing neighborhoods, and greenfield development sites at the City's edge.*

*Goal 8 – Economic Development*

*Appleton will pursue economic development that retains and attracts talented people, brings good jobs to the area, and supports the vitality of its industrial areas, downtown, and neighborhood business districts.*

**OBJECTIVE 9.2 Economic Development:**

*Grow Appleton's business community through recruitment, expansion, and retention programs that ensure a diverse business mix and jobs that pay well.*

**OBJECTIVE 9.5.1 Economic Development:**

*Ensure a continued adequate supply of industrial and commercial land to sustain new business development.*

**OBJECTIVE 10.5 Land Use:**

*Support the continued redevelopment and revitalization of land uses adjacent to Appleton's key transportation corridors and downtown.*

**Proposed Zoning Classification:** The C-2 district is intended to provide for businesses which serve city and regional markets; provide goods and services to other businesses, as well as consumers, provide services to automobiles and serve the traveling public. Per Section 23-113(h) of the Municipal Code, the development standards in the C-2 General Commercial District are listed below:

**(1) Minimum lot area.** Fourteen thousand (14,000) square feet.

**(2) Maximum lot coverage.** Seventy-five percent (75%).

**(3) Minimum lot width.** Sixty (60) feet.

**(4) Minimum front yard.** Ten (10) feet.

**(5) Minimum rear yard.** Twenty (20) feet.

**(6) Minimum side yard.**

a. None.

b. Ten (10) feet if abutting a residentially zoned district.

**(7) Maximum building height.** Thirty-five (35) feet [See §23-113 (e)].

**Future Actions:** If the rezoning request is approved, any future development would be reviewed against the C-2 District zoning regulations and other applicable sections of the Zoning Ordinance, including Section 23-42. Nonconforming buildings, structures, uses, and lots. Alterations of the existing buildings would require building permits from the Inspections Division. The planned reconstruction of the off-street parking lot would require site plan review and approval, pursuant to Section 23-570 of the Zoning Ordinance.

**Standards for Zoning Map Amendments:** Per Section 23-65(e), all recommendations for zoning amendments shall be consistent with the adopted plans, goals and policies of the City and with the purpose and intent of this zoning ordinance. It would appear the criteria established has been satisfied. Related excerpts are listed below.

(1) Prior to making a recommendation on a proposed zoning amendment, the Plan Commission shall make a finding to determine if the following conditions exist. No zoning amendment shall be approved prior to finding at least one (1) of the following:

a. The request for a zoning amendment is consistent with the Comprehensive Plan for the City of Appleton. *The rezoning request is in conformance with the Comprehensive Plan 2010-2030 goals and objectives stated above and the Future Land Use Map, which identifies this area with a future commercial designation.*

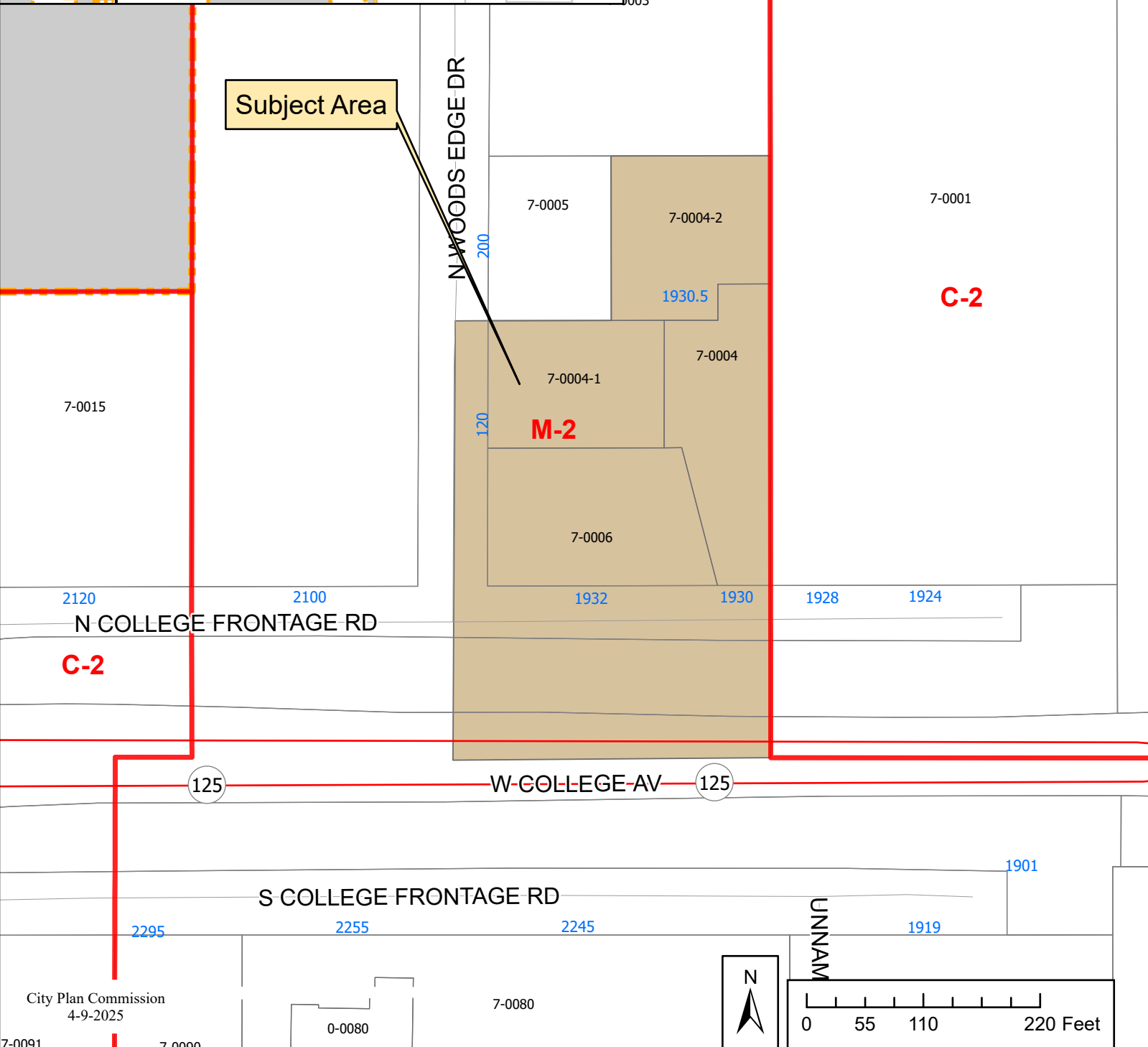
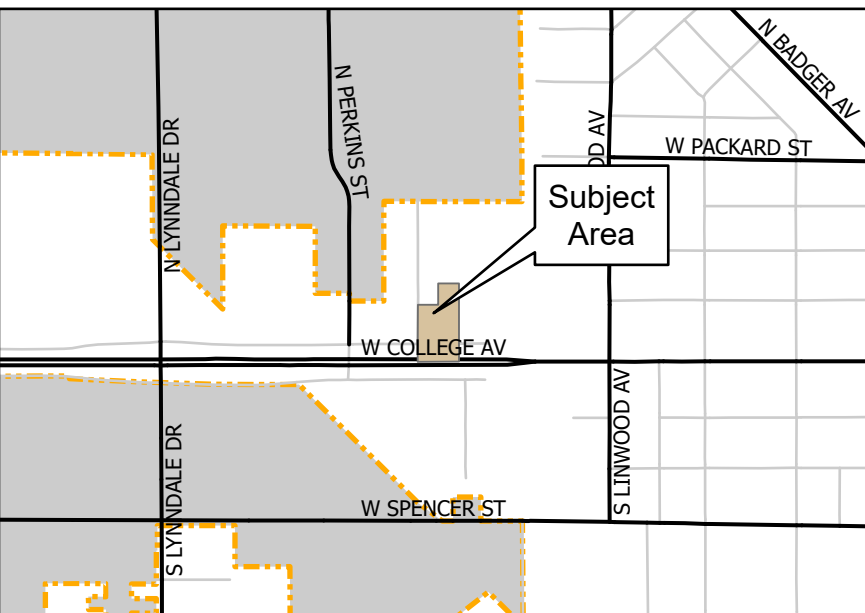
- b. Factors have changed such as availability to new data, growth patterns and rates, the presence of new road or other infrastructure, additional development, annexation, or other zoning changes, making the subject property more appropriate for a different district.
- c. There is an error in the zoning ordinance text or zoning map as enacted.

**Development Review Team (DRT) Report:** This item appeared on the March 18, 2025 DRT agenda. No negative comments were received from participating departments.

### **RECOMMENDATION**

Based upon the above analysis and the standards for zoning map amendments as required by Section 23-65(e)(1)a. of the Zoning Ordinance, staff recommends Rezoning #1-25 to rezone the subject parcels from M-2 General Industrial District to C-2 General Commercial District, including to the centerline of the adjacent right-of-way(s) as shown on the attached map, **BE APPROVED**.

# Rezoning M-2 General Industrial District to C-2 General Commercial District Zoning Map



Subject Area

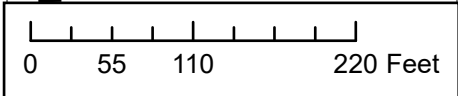
Subject Area

0-0001

Subject Area

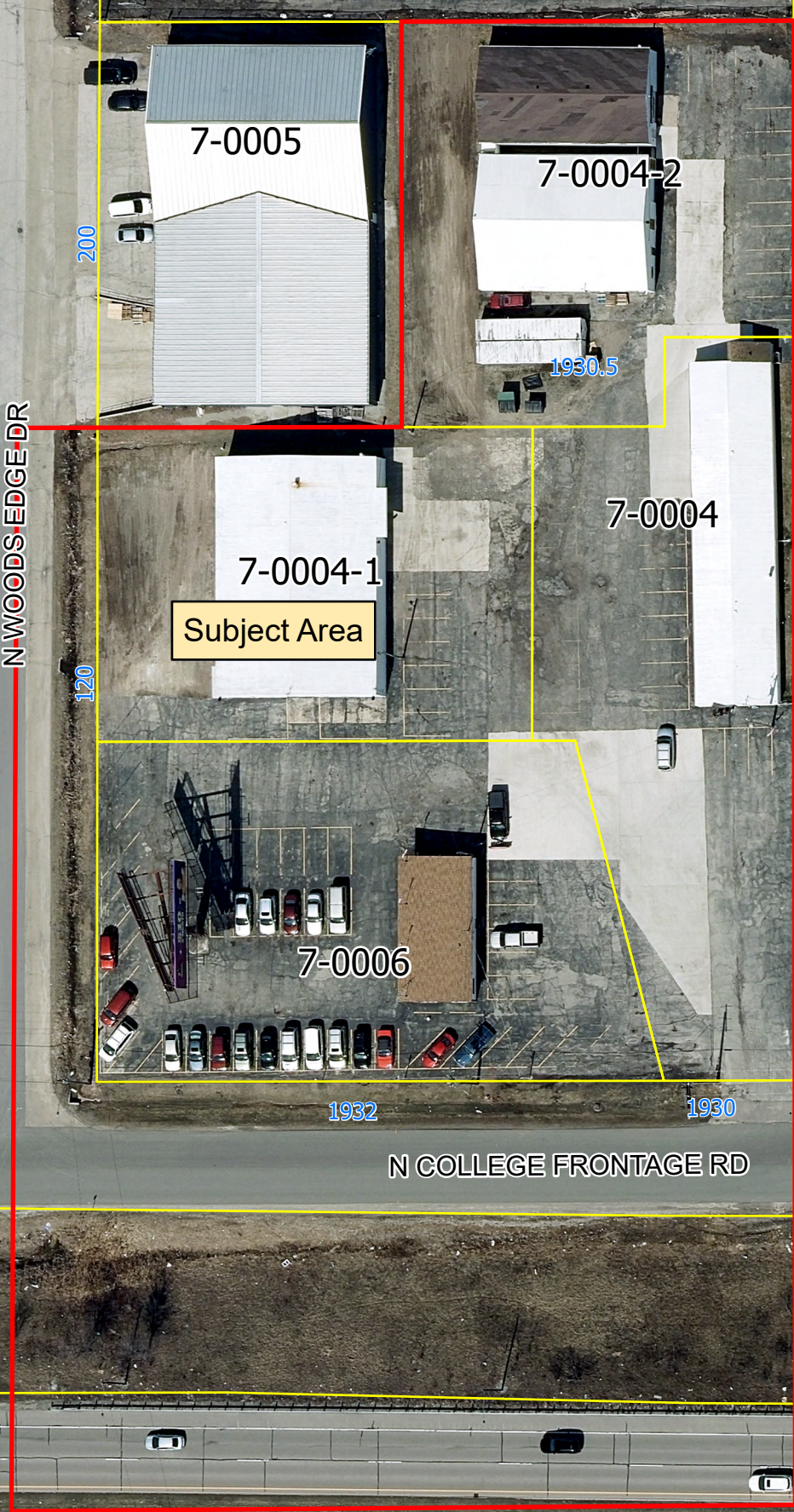
Subject Area

0-0001





Rezoning M-2 General Industrial District to C-2 General Commercial District  
Aerial Map

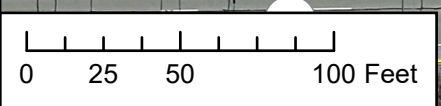


125

City Plan Commission  
4-9-2025

125

W COLLEGE AV



## **Parcels Being Re-Zoned to C-2**

FOR: BROOKWATER GROUP/OPE BREWING

3/14/2025

(THIS DOCUMENT REQUIRED BY CITY OF APPLETON DEPARTMENT OF COMMUNITY DEVELOPMENT)

Parcel No. 317000400

ALL OF LOT 1 OF CERTIFIED SURVEY MAP NUMBER 6849 RECORDED AS DOCUMENT NUMBER 2020092, LOCATED IN PART OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHEAST QUARTER(SE1/4) AND PART OF THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION TWENTY-EIGHT (28), TOWNSHIP TWENTY-ONE (21) NORTH, RANGE SEVENTEEN (17) EAST, CITY OF APPLETON, OUTAGAMIE COUNTY, WISCONSIN, INCLUDING TO THE CENTER LINE OF THE ADJACENT PUBLIC RIGHT-OF-WAY.

Parcel No. 317000401

ALL OF LOT 2 OF CERTIFIED SURVEY MAP NUMBER 4793 RECORDED AS DOCUMENT NUMBER 1608336, LOCATED IN PART OF THE EAST HALF (E1/2) OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION TWENTY-EIGHT (28), TOWNSHIP TWENTY-ONE (21) NORTH, RANGE SEVENTEEN (17) EAST, CITY OF APPLETON, OUTAGAMIE COUNTY, WISCONSIN INCLUDING TO THE CENTER LINE OF THE ADJACENT PUBLIC RIGHT-OF-WAY.

Parcel No. 317000402

ALL OF LOT 2 OF CERTIFIED SURVEY MAP NUMBER 6849 RECORDED AS DOCUMENT NUMBER 2020092, LOCATED IN PART OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHEAST QUARTER(SE1/4) AND PART OF THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION TWENTY-EIGHT (28), TOWNSHIP TWENTY-ONE (21) NORTH, RANGE SEVENTEEN (17) EAST, CITY OF APPLETON, OUTAGAMIE COUNTY, WISCONSIN

Parcel No. 317000600

ALL OF LOT 2 OF CERTIFIED SURVEY MAP NUMBER 2899 RECORDED AS DOCUMENT NUMBER 1232645, LOCATED IN PART OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHEAST QUARTER(SE1/4) AND PART OF THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION TWENTY-EIGHT (28), TOWNSHIP TWENTY-ONE (21) NORTH, RANGE SEVENTEEN (17) EAST, CITY OF APPLETON, OUTAGAMIE COUNTY, WISCONSIN, INCLUDING TO THE CENTER LINE OF THE ADJACENT PUBLIC RIGHT-OF-WAY.



# CITY OF APPLETON

## MEMORANDUM

**Date:** April 9, 2025  
**To:** Plan Commission  
**From:** Don Harp, Principal Planner  
**Subject:** Petition for Direct Annexation by Unanimous Approval Where No Owners/Electors Reside – Dorn Property Annexation

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## GENERAL INFORMATION

**Owner/Petitioner:** David L. Dorn, Trustee for Jane E. Dorn Revocable Trust

**Owner's Representative:** Steve Wieckert, Wieckert Real Estate

**Address/Parcel Numbers:** 4700 N. Richmond Street / 101040101, 101040200, 101040500, and 101040300 – Town of Grand Chute

**Petitioner's Request:** The owner/petitioner is requesting direct annexation by unanimous approval where no owners/electors reside pursuant to Section 66.0217(2), Wisconsin State Statutes of land currently located in the Town of Grand Chute, Outagamie County.

**Purpose for Annexation:** To allow the property to be developed utilizing City services for anticipated residential subdivision.

**Population of Such Territory:** 0

**Annexation Area:** 95.949 acres m/l

**Plan Commission Meeting Date:** April 9, 2025

**Common Council Meeting Date:** April 16, 2025

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## BACKGROUND

On March 16, 1992, the City of Appleton and the Town of Grand Chute agreed to and entered into an Intermunicipal Boundary Agreement pursuant to Section 66.027 and 66.30 of the Wisconsin State Statutes for the purpose of defining and expanding the provision of governmental services, including water and sewer services, by establishing the City's growth area and establishing provisions for annexation of land within the Town of Grand Chute to the City of Appleton.

On November 12, 2024, City staff reviewed and provided initial comments back to the prospective developer of subject site for a conceptual subdivision layout. Staff will continue to work with the developer of the property to review and provide feedback on future conceptual subdivision layout

submittals. This ongoing collaboration is indented to ensure that all municipal requirements are met and that the development aligns with City goals and policies.

On March 24, 2025, the Department of Administration (DOA) found the annexation to be in the public interest, attached is the review letter.

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## **STAFF ANALYSIS**

This item appeared on the March 4, 2025 Development Review Team (DRT) agenda. The Development Review Team has reviewed the annexation petition and identifies the following:

- Currently, the subject property is undeveloped and farmed. No electors reside in the annexation area.
- The area proposed for annexation is contiguous to the existing City boundary located to the north, south, and east of the annexation area.
- Annexation of the site in question is consistent with the Intermunicipal Boundary Agreement with the Town of Grand Chute.
- City water infrastructure is already installed along Richmond Street. Annexation to the City of Appleton is required before the subject property could connect to the City water.
- The subject property is currently located within the City of Appleton Sanitary Sewer Service Area. The existing sanitary sewer lift station located at Spartan Drive and Haymeadow Avenue is designed to serve this development. However, the north portion of this sewer extension (Spartan to CTH JJ) is tentatively programmed for 2027; the remaining (south) portion of the extension is not currently in the City's 5-year Capital Improvement Plan. Engineering staff was able to take a preliminary look at the sanitary stub at Apple Creek Road and while it does appear that there should be sanitary capacity for some homes, a feasibility analysis for pipe slopes and depth within the property boundary line would still be required to ensure the pipes can meet gravity requirements. The city will request a formal agreement be in place to its allowance and part of that agreement would include that the gravity sewer to the north will be installed in conjunction with the east side work in order to serve the remainder of the 94-acre parcel.
- The subject property is adjacent to North Richmond Street, North Haymeadow Avenue, North Mossrose Lane, North Clayhill Drive, North Marshall Heights Avenue, and East Apple Creek Road right-of-way.
- Access to North Richmond Street is under the authority of Wisconsin Department of Transportation. Access to the other streets would be under the authority of City of Appleton.
- The City can provide Police and Fire services to the subject property.
- The City of Appleton 2010-2030 Comprehensive Plan Map identifies the subject area as future One/Two family residential.

- The owner is requesting the City Plan Commission initiate a zoning map amendment (rezoning) for the annexation area from AG Agricultural District to a zoning classification of R-1B Single-family residential District. This request is consistent with the City of Appleton 2010-2030 Comprehensive Plan Map.

**Surrounding Zoning and Land Uses:** The surrounding zoning and uses (north, south, east, and west) are generally residential in nature with a small portion being commercial.

North: City of Appleton. R-1B Single-family District. The adjacent land use to the north is undeveloped land.

Town of Grand Chute. The adjacent land uses to the north are residential and undeveloped land.

South: City of Appleton. R-1B Single-family and R-2 Two-family District. The adjacent land uses to the south are residential, stormwater detention pond and lift station.

East: City of Appleton. R-1B Single-family District. The adjacent land uses to the east are residential and public trail.

West: Town of Grand Chute. The adjacent land uses to the west are residential and commercial.

**Appleton Comprehensive Plan 2010-2030:** The City of Appleton 2010-2030 Comprehensive Plan Map identifies the subject area as future one/two family residential development. The proposed annexation is consistent with the following goals and objectives of the *Comprehensive Plan 2010-2030*.

*Goal 1 – Community Growth*

*Appleton will continue to provide opportunities for residential, commercial, and industrial growth, including appropriate redevelopment sites within the downtown and existing neighborhoods, and greenfield development sites at the City's edge.*

*Goal 3 – Housing Quality, Variety, and Affordability*

*Appleton will provide a variety of rental and ownership housing choices in a range of prices affordable to community residents, and ensure that existing housing is adequately maintained in terms of physical quality and market viability.*

**OBJECTIVE 5.3 Housing and Neighborhoods:**

*Provide a range of housing options that meet the needs and appeal to all segments of the community and allows residents to age in place.*

*Policy 5.3.3 Plan for a supply of developable land suitable for residential development.*

**OBJECTIVE 10.1 Land Use:**

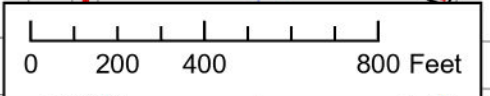
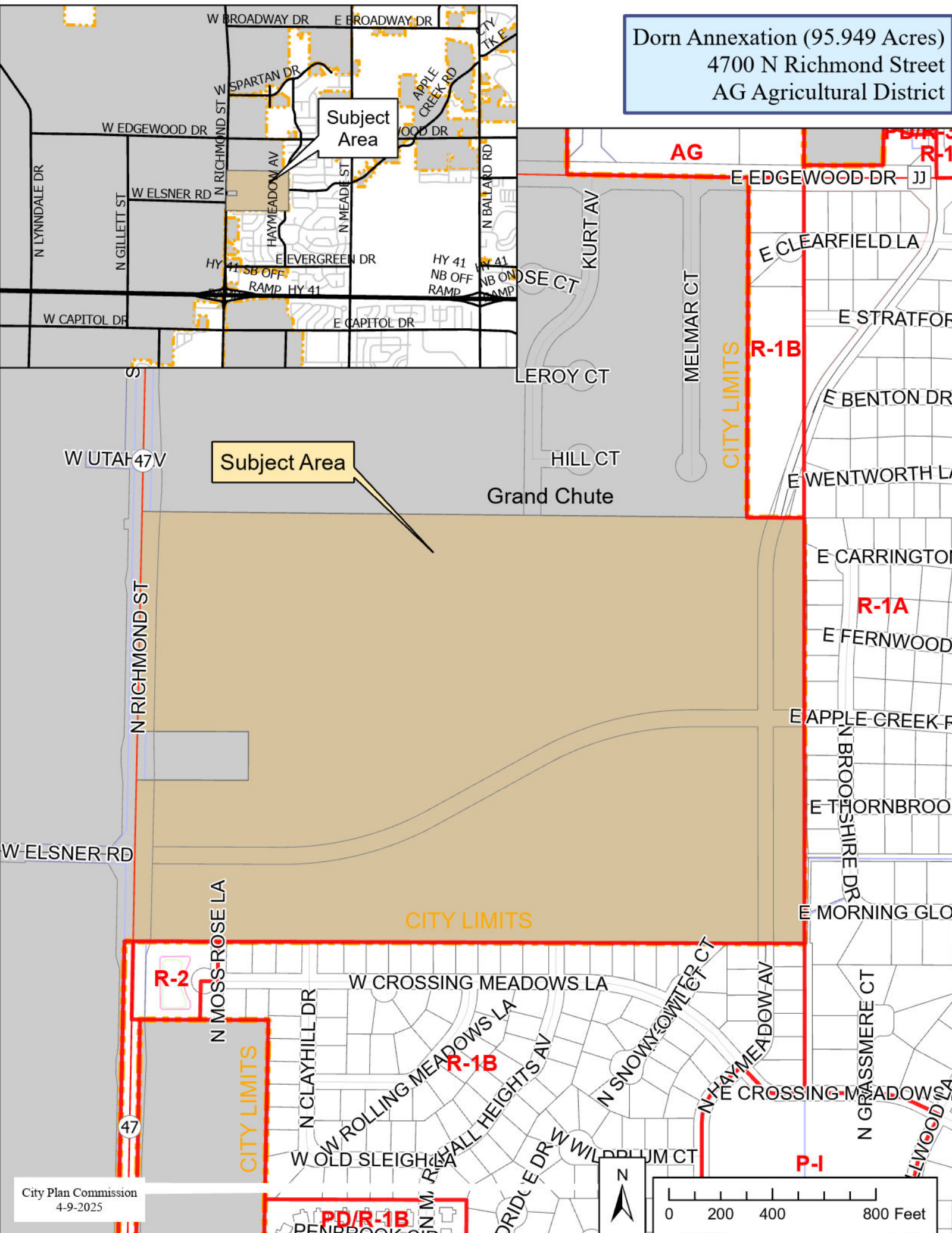
*Provide an adequate supply of suitable land meeting the demand for development of various land uses.*

## RECOMMENDATION

Staff recommends that the Dorn Annexation, as shown on the attached maps, **BE APPROVED** with the following stipulation:

1. The Plan Commission initiate the zoning map amendment (rezoning) for the subject property from AG Agricultural District to the zoning classification of R-1B Single-family District, pursuant Section 23-65(h) which is consistent with the *Comprehensive Plan 2010-2030*, pursuant to Section 23-65(e)(1)a. of the Municipal Code.

Dorn Annexation (95.949 Acres)  
4700 N Richmond Street  
AG Agricultural District





# CITY OF APPLETON

## PETITION FOR DIRECT ANNEXATION BY UNANIMOUS APPROVAL PURSUANT TO SECTION 66.0217(2), WISCONSIN STATUTES WHERE NO ELECTORS RESIDE IN TERRITORY

The undersigned, constituting the Trustee of the Jane E. Dorn Revocable trust, owner of the real property in which no electors reside in the following territory of the Town of Grand Chute, Outagamie County, Wisconsin, lying contiguous to the City of Appleton, petition the Common Council of the City of Appleton to annex the territory described below and shown on the attached scaled map to the City of Appleton, Outagamie County, Wisconsin.

Legal description of proposed territory to be annexed:

ALL OF LOT 2 OF CERTIFIED SURVEY MAP NO. 8713, BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND ALL OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF THE SOUTHWEST 1/4, ALL IN SECTION 11, TOWNSHIP 21 NORTH, RANGE 17 EAST, TOWN OF GRAND CHUTE, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST 1/4 CORNER OF SAID SECTION 11; THENCE NORTH 01 DEGREES 12 MINUTE 23 SECONDS EAST, ALONG THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION, A DISTANCE OF 292.48 FEET; THENCE SOUTH 89 DEGREES 51 MINUTE 01 SECONDS EAST, ALONG THE SOUTH LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8713, A DISTANCE OF 433.31 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 59 SECONDS EAST, ALONG THE EAST LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8713, A DISTANCE OF 187.95 FEET; THENCE NORTH 89 DEGREES 51 MINUTES 01 SECONDS WEST, ALONG THE NORTH LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8713, A DISTANCE OF 429.85 FEET; THENCE NORTH 01 DEGREES 12 MINUTE 23 SECONDS EAST, ALONG THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION, A DISTANCE OF 849.60 FEET; THENCE SOUTH 89 DEGREES 26 MINUTE 21 SECONDS EAST, ALONG THE NORTH LINE OF SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION, A DISTANCE OF 2560.33 FEET; THENCE SOUTH 00 DEGREES 03 MINUTES 00 SECONDS EAST, ALONG THE EAST LINE OF NORTHWEST 1/4 OF SAID SECTION, A DISTANCE OF 1311.48 FEET; THENCE SOUTH 00 DEGREES 03 MINUTES 00 SECONDS EAST, ALONG THE EAST LINE OF SOUTHWEST 1/4 OF SAID SECTION, A DISTANCE OF 331.76 FEET; THENCE NORTH 89 DEGREES 51 MINUTES 01 SECONDS WEST, ALONG THE NORTH LINE OF MARSHALL HEIGHTS II AND MARSHALL HEIGHTS III, A DISTANCE OF 2595.85 FEET; THENCE NORTH 01 DEGREES 04 MINUTES 11 SECONDS EAST, ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION, A DISTANCE OF 331.80 FEET TO THE POINT OF BEGINNING. CONTAINING 4,179,535 SQUARE FEET [95.949 ACRES]. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.





The undersigned, elect that this annexation shall take effect to the full extent consistent with outstanding priorities of other annexation, incorporation, or consolidation proceedings, if any.

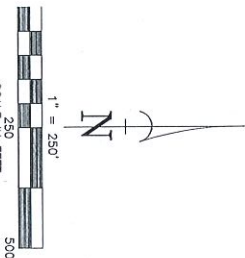
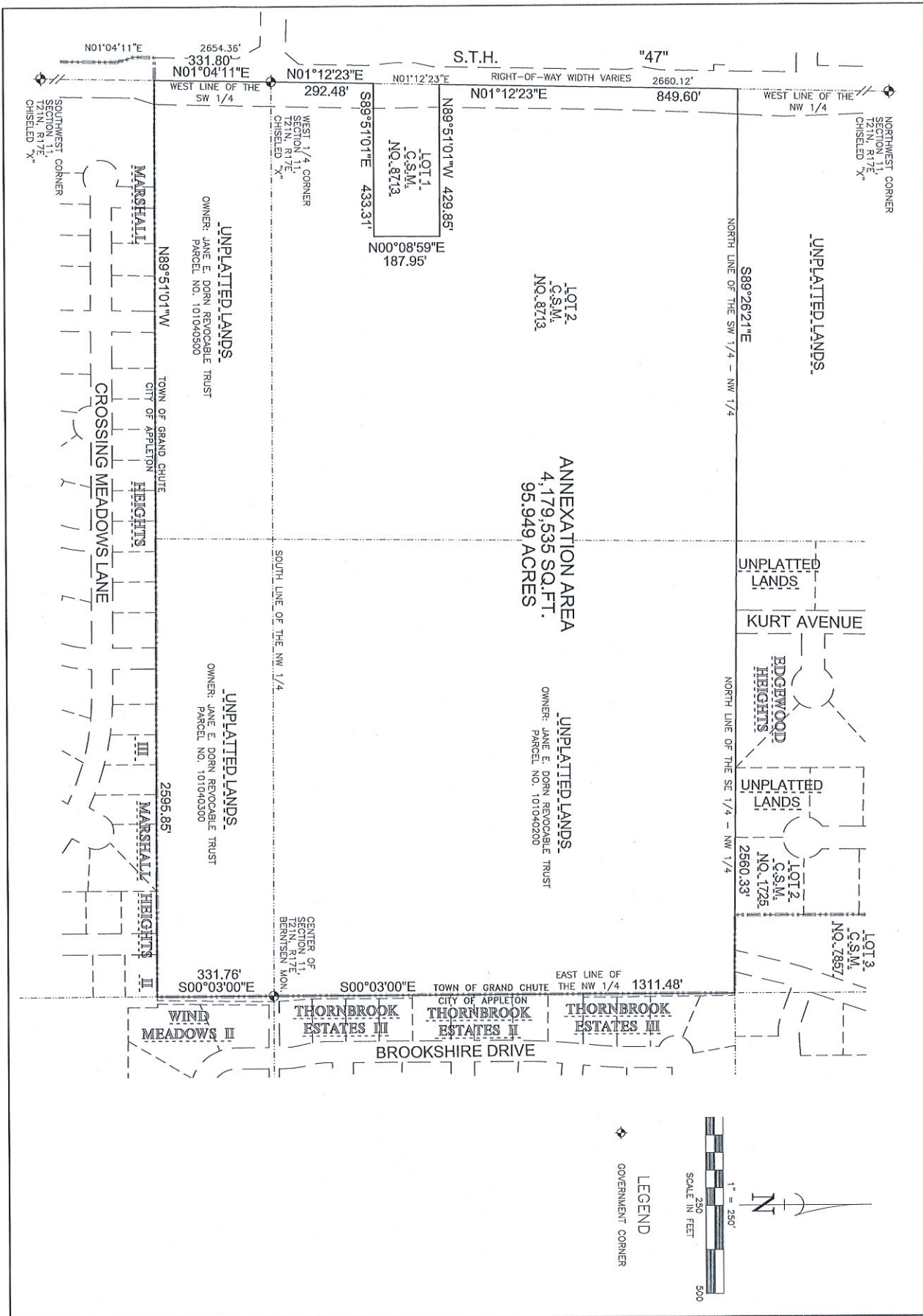
I further respectfully request that the City Plan Commission initiate a rezoning for the subject property, from AG Agricultural District to a zoning classification of R-1B Single-family District.

Area of lands to be annexed contains 95.949 acres m/l.

Tax Parcel numbers of lands to be annexed: 101040101, 101040200, 101040500, 101040300.

The current population of such territory is 0.

Signature of Petitioner/Trustee	Date of Signing	Address of Petitioner (Include Zip Code)
	2-17-25	4700 N. Richmond Steet Appleton, WI 54913
David L. Dorn, Trustee Jane E. Dorn Revocable Trust		



LEGEND  
 ◆ GOVERNMENT CORNER

DRAWING NO. 1-1306-002	SCALE DATE BAR GRAPH COMPUTER FILE 1-1306-002.dwg	DATE DEC. 2024	ANNEXATION MAP		DRAWN BY LVL DATE	CHECKED	APPROVED	REVISION
			DORN PARCELS					
ALL OF LOT 2 OF CERTIFIED SURVEY MAP NO. 8713, BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND ALL OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF THE SOUTHWEST 1/4, ALL IN SECTION 11, TOWNSHIP 21 NORTH, RANGE 17 EAST, TOWN OF GRAND CHUTE, WISCONSIN.								
<b>Martenson &amp; Eisele, Inc.</b> 1377 Midway Road Menasha, WI 54952 www.martenson-eisele.com info@martenson-eisele.com 920.731.0361 1.800.236.0361 Planning Environmental Surveying Engineering Architecture								

**REVISED**

Received March 19, 2025  
Appleton Community Development Dept.

## LEGAL DESCRIPTION ANNEXATION FROM GRAND CHUTE TO CITY OF APPLETON

ALL OF LOT 2 OF CERTIFIED SURVEY MAP NO. 8713, BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND ALL OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF THE SOUTHWEST 1/4, ALL IN SECTION 11, TOWNSHIP 21 NORTH, RANGE 17 EAST, TOWN OF GRAND CHUTE, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

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PROJECT NO.: 1-1306-002  
DATE: March 19, 2025  
FILE: Q:\1-1306-002 N Appleton Prop - Dorn Property\Legal



# Martenson & Eisele, Inc.

professionals dedicated to serving people committed to improving their communities

Planning  
Environmental  
Surveying  
Engineering  
Architecture

L. Lucht

REVISED

Received March 19, 2025  
Appleton Community Development Dept

UNPLATTED LANDS

UNPLATTED LANDS

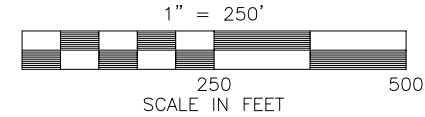
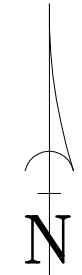
KURT AVENUE

EDGEWOOD HEIGHTS

UNPLATTED LANDS

LOT 2  
C.S.M.  
NO. 1725  
2560.33'

LOT 3  
C.S.M.  
NO. 7857



LEGEND

GOVERNMENT CORNER

LOT 2  
C.S.M.  
NO. 8713

ANNEXATION AREA  
4,179,159 SQ.FT.  
95.940 ACRES

UNPLATTED LANDS

OWNER: JANE E. DORN REVOCABLE TRUST  
PARCEL NO. 101040200

S.T.H.  
"47"

331.80'

N01°04'11"E

N01°04'11"E

N01°04'11"E

WEST LINE OF THE NW 1/4

RIGHT-OF-WAY WIDTH VARIES

N01°12'23"E

N01°12'23"E

N01°12'23"E

N01°12'23"E

N01°12'23"E

N01°12'23"E

N01°12'23"E

N01°12'23"E

NORTHWEST CORNER  
SECTION 11,  
T21N, R17E  
CHISELED "X"

WEST 1/4 CORNER  
SECTION 11,  
T21N, R17E  
CHISELED "X"

SOUTHWEST CORNER  
SECTION 11,  
T21N, R17E  
CHISELED "X"

SOUTHWEST CORNER  
SECTION 11,  
T21N, R17E  
CHISELED "X"

S89°26'21"E  
NORTH LINE OF THE SW 1/4 - NW 1/4

NORTH LINE OF THE SE 1/4 - NW 1/4

SOUTH LINE OF THE NW 1/4

EAST LINE OF THE NW 1/4

TOWN OF GRAND CHUTE

S00°03'00"E

S00°03'00"E

S00°03'00"E

THORNBROOK ESTATES III

THORNBROOK ESTATES III

WIND MEADOWS II

THORNBROOK ESTATES III

THORNBROOK ESTATES III

WIND MEADOWS II

BROOKSHIRE DRIVE

N89°51'01"W 429.85'

N00°08'59"E  
187.95'

S89°51'01"E 433.31'

LOT 1  
C.S.M.  
NO. 8713

N00°08'59"E  
187.95'

N89°51'24"W

TOWN OF GRAND CHUTE  
CITY OF APPLETON

2595.85'

MARSHALL

HEIGHTS

III

MARSHALL

HEIGHTS

III

CROSSING MEADOWS LANE

Distance Changed

Bearing Changed

UNPLATTED LANDS  
OWNER: JANE E. DORN REVOCABLE TRUST  
PARCEL NO. 101040500

UNPLATTED LANDS

OWNER: JANE E. DORN REVOCABLE TRUST  
PARCEL NO. 101040300

ANNEXATION MAP  
DORN PARCELS

ALL OF LOT 2 OF CERTIFIED SURVEY MAP NO. 8713, BEING PART OF THE  
SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND ALL OF THE SOUTHWEST 1/4 OF  
THE NORTHWEST 1/4, AND PART OF THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF  
THE SOUTHWEST 1/4, ALL IN SECTION 11, TOWNSHIP 21 NORTH, RANGE 17 EAST,  
TOWN OF GRAND CHUTE, WISCONSIN.

SCALE	DATE
BAR GRAPH	Dec. 2024
COMPUTER FILE	
1-1306-002annex.dwg	

DRAWING NO.  
1-1306-002

DRAWN BY	LWL	DATE	CHECKED	APPROVED
			NO.	NO.
			REVISION	

Martenson & Eisele, Inc.  
1377 Midway Road  
Menasha, WI 54952  
www.martenson-eisele.com  
info@martenson-eisele.com  
920.731.0381 1.800.236.0381



Planning  
Environmental  
Surveying  
Engineering  
Architecture



TONY EVERS

GOVERNOR

KATHY BLUMENFELD

SECRETARY

**Municipal Boundary Review**

PO Box 1645, Madison WI 53701

Voice (608) 264-6102 Fax (608) 264-6104

Email: [wimunicipalboundaryreview@wi.gov](mailto:wimunicipalboundaryreview@wi.gov)

Web: <http://doa.wi.gov/municipalboundaryreview>

March 24, 2025

PETITION FILE NO. 14742

KAMI LYNCH, CLERK  
CITY OF APPLETON  
100 N APPLETON ST  
APPLETON, WI 54911-4702

KAYLA RAATZ, CLERK  
TOWN OF GRAND CHUTE  
1900 W GRAND CHUTE BOULEVARD  
GRAND CHUTE, WI 54913-9613

Subject: DORN ANNEXATION

The proposed annexation submitted to our office on March 03, 2025 and as revised on March 19, 2025, has been reviewed and found to be in the public interest. In determining whether an annexation is in the public interest, s. 66.0217 (6), Wis. Stats. requires the Department to examine "[t]he shape of the proposed annexation and the homogeneity of the territory with the annexing village or city...." so as, to ensure the resulting boundaries are rational and compact. The statute also requires the Department to consider whether the annexing city or village can provide needed municipal services to the territory. The subject petition is for territory that is reasonably shaped and contiguous to the City of Appleton, which is able to provide needed municipal services.

The Department reminds clerks of annexing municipalities of the requirements of s. 66.0217 (9)(a), Wis. Stats., which states:

"The clerk of a city or village which has annexed shall file immediately with the secretary of administration a certified copy of the ordinance, certificate and plat, and shall send one copy to each company that provides any utility service in the area that is annexed. The clerk shall record the ordinance with the register of deeds and file a signed copy of the ordinance with the clerk of any affected school district..."

State and federal aids based on population and equalized value may be significantly affected through failure to file with the Department of Administration. Please file a copy of your annexing ordinance, including a statement certifying the population of the annexed territory. **Please include your MBR number 14742 with your ordinance.** Ordinance filing checklist available at <http://mds.wi.gov/>, click on "Help on How to Submit Municipal Records". Email scanned copy of required materials (color scan maps with color) to [mds@wi.gov](mailto:mds@wi.gov) or mail to: Wisconsin Department of Administration, Municipal Boundary Review, PO Box 1645, Madison WI 53701-1645.

The petition file is available for viewing at: <http://mds.wi.gov/View/Petition?ID=2816>  
Please call me at (608) 264-6102, should you have any questions concerning this annexation review.

Sincerely,

Erich Schmidtke, Municipal Boundary Review

cc: petitioner



# CITY OF APPLETON

## MEMORANDUM

**Date:** April 9, 2025  
**To:** Plan Commission  
**From:** Colin Kafka, Principal Planner  
**Subject:** Location and Architectural Design of Proposed Lundgaard Park Pavilion

---

Wis. State Statute 62.23(5) states that the location and architectural design of any public building shall be referred to the Plan Commission for its consideration and report before final action is taken by the Common Council.

### **Background:**

#### Lundgaard Park Phase I

Pursuant to Section 23-570 of the Municipal Code, Site Plan #15-23 was reviewed and approved by staff on September 20, 2023. Phase I development consisted of sidewalks, open areas, a playground, and a sports court. These park amenities are not defined as buildings; therefore, Plan Commission and Common Council action was not required. These park amenities have since been constructed on the parcel.

#### Lundgaard Park Phase II

Site Plan #05-25 was submitted on March 18, 2025, and it is currently under site plan review by staff pursuant to Section 23-570 of the Municipal Code. The Phase II development details the location and design of a new pavilion that will be at the center of the park. The location and architectural elevations of the proposed pavilion are showcased in Exhibit A and B, respectively.

### **PLAN COMMISSION RECOMMENDED ACTION:**

---

In accordance with Wis. State Statute 62.23(5), staff recommends the acceptance of the proposed location and architectural design of the pavilion, as shown on the attached site plan materials, **BE APPROVED**.



**LOCATION MAP**

**CIVIL PLAN ABBREVIATIONS:**

AC	ACRE	CI	CONTROL JOINT	EOF	EMERGENCY OVERFLOW	GL	GUTTER LINE	IPS	IRON PIPE SIZE	NWL	NORMAL WATER LEVEL	RCP	REINFORCED CONCRETE PIPE	THRU	THROUGH
ADA	AMERICANS WITH DISABILITIES ACT	CL	CENTERLINE	EQ	EQUAL	GPM	GALLONS PER MINUTE	J-BOX	JUNCTION BOX	OC	ON CENTER	RD	ROOF DRAIN	TNHF	TOP NUT OF FIRE HYDRANT
ADD	ADDITIONUM	CMP	CORRUGATED METAL PIPE	EX	EXISTING	GV	GATE VALVE	IT	JOINT	OCEW	ON CENTER EACH WAY	REBAR	REINFORCING BAR	TRANS	TRANSFORMER
AF	ABOVE FINISHED FLOOR	CO	CLEANOUT	FDC	FIRE DEPARTMENT CONNECTION	HDPE	HIGH DENSITY POLYETHYLENE	LF	LINEAR FEET	OH	OVERHEAD	REM	REMOVE	TV	TELEVISION
AGG	AGGREGATE	CONC	CONCRETE	FDN	FOUNDATION	HD	HEAVY DUTY	LIN	LINEAR	OHD	OVERHEAD DOOR	ROW	RIGHT OF WAY	T/W	TOP OF WALL
APPROX	APPROXIMATE	CONST	CONSTRUCTION	FES	FLARED END SECTION	HH	HANDHOLE	LPS	LOW PRESSURE STEAM	OZ	OUNCE	R/W	RIGHT OF WAY	TYP	TYPICAL
ARCH	ARCHITECT, ARCHITECTURAL	CONT	CONTINUOUS	FFE	FINISHED FLOOR ELEVATION	HORIZ	HORIZONTAL	LS	LUMP SUM	PED	PEDESTAL, PEDESTRIAN	SAN	SANITARY	UT	UTILITY, UNDERGROUND
BFE	BASEMENT FLOOR ELEVATION	CY	CUBIC YARD	PFM	FEET PER MINUTE	HR	HOUR	LSO	LOWEST STRUCTURAL OPENING	PERF	PERFORATED	SCH	SCHEDULE	UT	UTILITY, UNDERGROUND
BIT	BITUMINOUS	C&G	CURB AND GUTTER	FPS	FEET PER SECOND	HWL	HIGH WATER LEVEL	MAX	MAXIMUM	PL	PROPERTY LINE	SF	SQUARE FOOT	VCP	VITRIFIED CLAY PIPE
CAD	COMPUTER-AIDED DESIGN	DEMO	DEMOLITION	FT	FOOT, FEET	HWY	HIGHWAY	MB	MAIL BOX	PP	POLYPROPYLENE	SPEC	SPECIFICATION	W/O	WITHOUT
CB	CATCH BASIN	DIA	DIAMETER	FTG	FOOTING	HYD	HYDRANT	MECH	MECHANICAL	PSI	POUNDS PER SQUARE INCH	SQ	SQUARE	W/	WITH
CFS	CUBIC FEET PER SECOND	DIM	DIMENSION	GA	GAUGE	I	INVERT	MH	MANHOLE	PVC	POLYVINYL CHLORIDE	STA	STATION	YD	YARD
CF	CUBIC FOOT	DS	DOWNSPOUT	GAL	GALLON	ID	INSIDE DIAMETER	MIN	MINIMUM	PVMT	PAVEMENT	SY	SQUARE YARD	YR	YEAR
CI	CAST IRON	EA	EACH	GALV	GALVANIZED	IN	INCH	MISC	MISCELLANEOUS	QTY	QUANTITY	T/C	TOP OF CURB		
CIP	CAST IRON PIPE	ELEC	ELECTRICAL	GC	GENERAL CONTRACTOR	INV	INVERT	NO	NUMBER	R	RIM	TEL	TELEPHONE		
CIPC	CAST IN PLACE CONCRETE	ELEV	ELEVATION	GFE	GARAGE FLOOR ELEVATION	IP	IRON PIPE	NTS	NOT TO SCALE	RAD	RADIUS	TEMP	TEMPORARY		

**PROJECT GENERAL NOTES**

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS, AND CLARIFICATIONS ISSUED BY ARCHITECT/ENGINEER.
- CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "DIGGERS HOTLINE" FOR UTILITY LOCATIONS A MINIMUM OF 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (811 OR 1-800-242-8511).



**SPECIFICATIONS REFERENCE**

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF APPLETON STANDARD SPECIFICATIONS, CURRENT EDITION, WISDOT STANDARD SPECIFICATIONS, 2025 EDITION, WISDOT CONSTRUCTION AND MATERIALS MANUAL, CURRENT EDITION, WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES STATE PLUMBING CODE, CURRENT EDITION, AND STANDARD SPECIFICATION FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, 6th EDITION, UNLESS DIRECTED OTHERWISE.

**PROJECT DATUM**

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), 2011 ADJUSTMENT (NAD83(2011)) ON THE OUTAGAMIE COUNTY COORDINATE SYSTEM, IN U.S. SURVEY FEET. ELEVATION HAVE BEEN REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

**TOPOGRAPHIC SURVEY**

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN DECEMBER 2022 BY ISG.

**B.M. ELEVATION=758.65**

T.N.F.H APPROX. 500' NORTH OF THE E ASHBURY DR AND N LIGHTNING DR INTERSECTION

**LEGEND**

	CITY LIMITS
	SECTION LINE
	QUARTER SECTION LINE
	RIGHT OF WAY LINE
	PROPERTY / LOT LINE
	EASEMENT LINE
	ACCESS CONTROL
	WATER EDGE
	WETLAND BOUNDARY
	WETLAND / MARSH
	FENCE LINE
	CULVERT
	STORM SEWER
	SANITARY SEWER
	SANITARY SEWER FORCE MAIN
	WATER
	GAS
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	UNDERGROUND TV
	OVERHEAD UTILITY
	UNDERGROUND UTILITY
	UNDERGROUND FIBER OPTIC
	CONTOUR (MAJOR)
	CONTOUR (MINOR)
	DECIDUOUS TREE
	CONIFEROUS TREE
	TREE LINE
	MANHOLE/STRUCTURE
	CATCH BASIN
	HYDRANT
	VALVE
	CURB STOP
	POWER POLE
	UTILITY PEDESTAL / CABINET
	LOT LINE
	RIGHT OF WAY
	EASEMENT
	CULVERT
	STORM SEWER
	STORM SEWER (PIPE WIDTH)
	SANITARY SEWER
	SANITARY SEWER (PIPE WIDTH)
	SANITARY SEWER FORCE MAIN
	WATER
	GAS
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDERGROUND TV
	CONTOUR
	MANHOLE (STORM, SANITARY)
	CATCH BASIN
	HYDRANT
	VALVE

**CIVIL SHEET INDEX**

C0-10	SITE DATA
C0-20	SITE DETAILS
C0-21	SITE DETAILS
C0-22	SITE DETAILS
C1-10	EROSION CONTROL NARRATIVE
C1-11	EROSION CONTROL NARRATIVE
C1-20	SWPPP DETAILS
C2-10	EXISTING SITE AND SWPPP
C3-10	SITE PLAN
C3-20	UTILITY PLAN
C3-30	UTILITY SCHEDULES
C4-10	GRADING PLAN
C5-10	RESTORATION PLAN

**Exhibit A Site Plan**



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

**CITY OF APPLETON LUNDBGAARD PARK**

APPLETON WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	24-30456
FILE NAME	30456 CO-GENERAL
DRAWN BY	MNA
DESIGNED BY	BAH / LM
REVIEWED BY	KBR / LM
ORIGINAL ISSUE DATE	-/-/-
CLIENT PROJECT NO.	-

TITLE

**SITE DATA**

SHEET

**C0-10**





**IMPERVIOUS SURFACES**

EXISTING IMPERVIOUS =	0.71 AC
PROPOSED IMPERVIOUS =	0.17 AC
TOTAL LOT DISTURBED AREA =	1.63 AC
TOTAL LOT SIZE =	7.02 AC

**SURFACING LEGEND**

SYMBOL	DESCRIPTION
	CONCRETE PAVEMENT

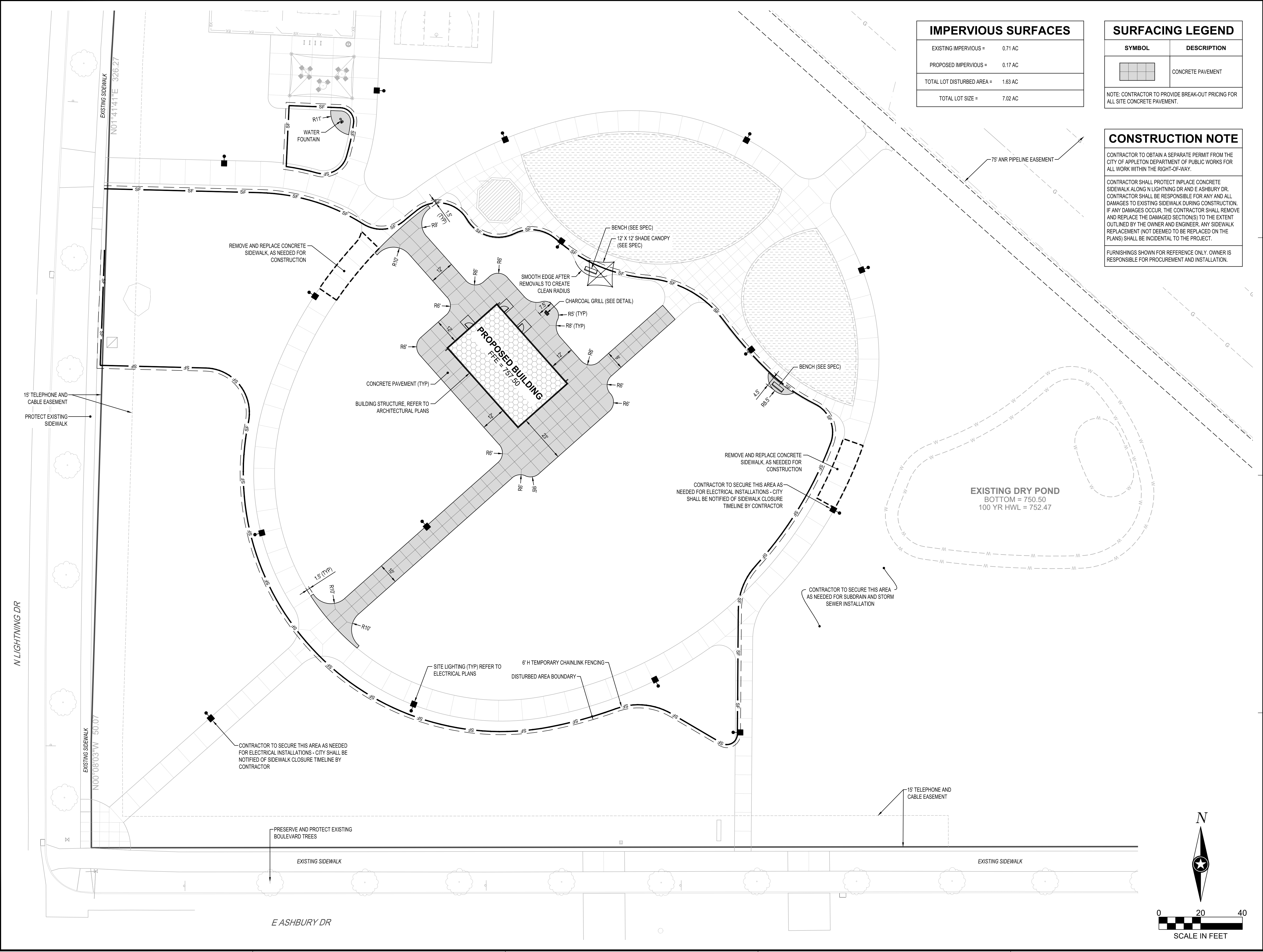
NOTE: CONTRACTOR TO PROVIDE BREAK-OUT PRICING FOR ALL SITE CONCRETE PAVEMENT.

**CONSTRUCTION NOTE**

CONTRACTOR TO OBTAIN A SEPARATE PERMIT FROM THE CITY OF APPLETON DEPARTMENT OF PUBLIC WORKS FOR ALL WORK WITHIN THE RIGHT-OF-WAY.

CONTRACTOR SHALL PROTECT INPLACE CONCRETE SIDEWALK ALONG N LIGHTNING DR AND E ASHBURY DR. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING SIDEWALK DURING CONSTRUCTION. IF ANY DAMAGES OCCUR, THE CONTRACTOR SHALL REMOVE AND REPLACE THE DAMAGED SECTION(S) TO THE EXTENT OUTLINED BY THE OWNER AND ENGINEER. ANY SIDEWALK REPLACEMENT (NOT DEEMED TO BE REPLACED ON THE PLANS) SHALL BE INCIDENTAL TO THE PROJECT.

FURNISHINGS SHOWN FOR REFERENCE ONLY. OWNER IS RESPONSIBLE FOR PROCUREMENT AND INSTALLATION.



SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

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PROJECT

**CITY OF APPLETON  
LUNDBGAARD PARK**

APPLETON WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

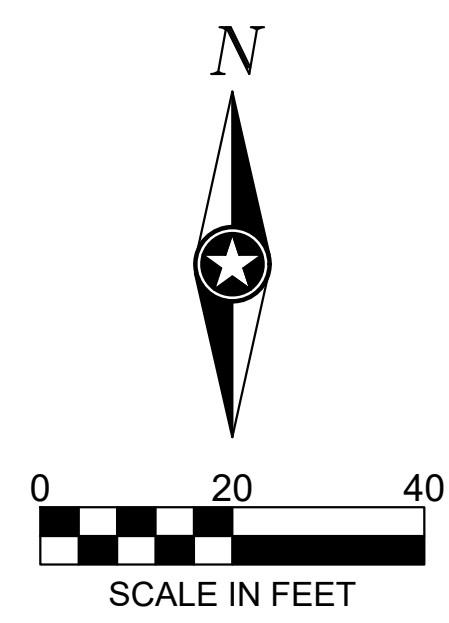
PROJECT NO.	24-30456
FILE NAME	30456 C3-SITE
DRAWN BY	MNA
DESIGNED BY	BAH / LM
REVIEWED BY	KBR / LM
ORIGINAL ISSUE DATE	-/-/-
CLIENT PROJECT NO.	-

TITLE

**SITE PLAN**

SHEET

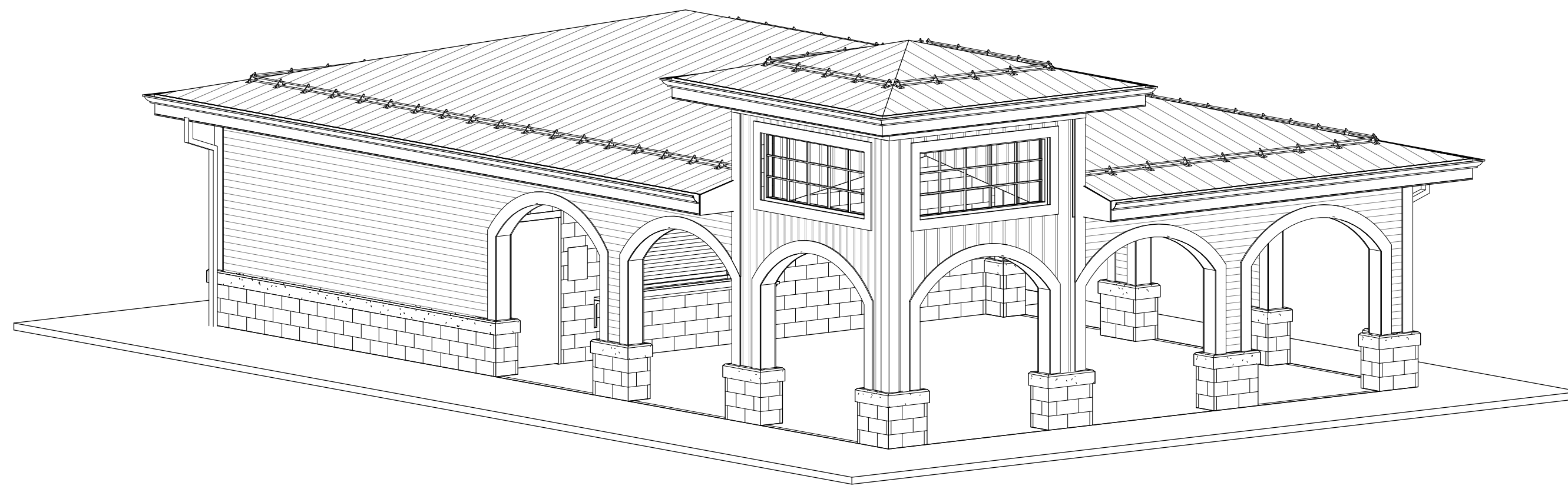
**C3-10**



# CITY OF APPLETON LUNDGAARD PARK PHASE 2

APPLETON, WISCONSIN

ISG PROJECT # 24-30456



PROJECT GENERAL NOTES	
A.	ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL AND SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ARCHITECT / ENGINEER.
B.	CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND CORRELATING QUANTITIES AND DIMENSIONS.
C.	WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
D.	FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
E.	DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT / ENGINEER BEFORE PROCEEDING WITH THE WORK.
F.	ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT / ENGINEER BEFORE PROCEEDING WITH THE WORK.
G.	LARGE-SCALE, MORE SPECIFIC DETAILS TAKE PRECEDENCE OVER SMALLER-SCALE, LESS SPECIFIC DETAILS AND INFORMATION. MORE STRINGENT REQUIREMENTS FOR CODE, PRODUCTS AND INSTALLATION TAKE PRECEDENCE OVER LESS STRINGENT REQUIREMENTS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
H.	PROVIDE CONTINUOUS SEALANT AROUND ALL MATERIALS AT ALL INTERIOR AND EXTERIOR WALL PENETRATIONS. REFER TO SPECIFICATIONS FOR APPROPRIATE SEALANT.
I.	ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
J.	SEAL ALL OPENINGS IN WALLS, FLOORS, CEILINGS, AND ROOFS, AROUND DUCTS, PIPES, VENTS, TRAPS, CONDUIT AND ALL OTHER PENETRATIONS WITH FIRE STOPPING AS SPECIFIED AND REQUIRED BY CODES. IF FIRE STOPPING IS NOT REQUIRED AT PENETRATIONS PER CODE, SEAL WITH CONTINUOUS SEALANT.
K.	PROVIDE TEMPORARY WALLS, ENCLOSURES, DUST SHIELDS AND WALK-OFF MATS AS REQUIRED TO SEPARATE DEMOLITION AND CONSTRUCTION FROM EXISTING BUILDING.
L.	PROVIDE BRACING AND SHORING AS REQUIRED TO PROTECT EXISTING STRUCTURE TO REMAIN. PROVIDE SECURE AND WEATHERPROOF ENCLOSURE OF TEMPORARY OPENINGS IN EXTERIOR WALLS. PROTECT ALL BUILDING COMPONENTS FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
M.	RESTORE ALL EXISTING AREAS AFFECTED BY DEMOLITION AND RELATED NEW CONSTRUCTION TO THEIR ORIGINAL CONDITION, INCLUDING BUT NOT LIMITED TO WALLS, FLOORS, AND CEILINGS AND THEIR ASSOCIATED FINISHES.
N.	PROVIDE SOLID WALL BACKING WITH METAL OR FIRE-RETARDANT WOOD BLOCKING BEHIND DOOR HARDWARE SUCH AS WALL STOPS, BUMPERS, HOLD OPENS, ETC. AND AT ALL ITEMS REQUIRING FASTENING THROUGH GYP BD. TO BLOCKING.
O.	RENDERED IMAGES MAY NOT BE AN ACCURATE REPRESENTATION OF BUILDING CONDITIONS. REFER TO PLANS AND DETAILS CONTAINED WITHIN FOR SCOPE OF WORK.

SHEET INDEX	
SHEET #	SHEET TITLE
<b>GENERAL</b>	
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G1-21	CODE DATA AND CODE DATA PLAN
<b>CIVIL</b>	
C0-10	SITE DATA
C0-20	SITE DETAILS
C0-21	SITE DETAILS
C0-22	SITE DETAILS
C1-10	EROSION CONTROL NARRATIVE
C1-11	EROSION CONTROL NARRATIVE
C1-20	SWPPP DETAILS
C2-10	EXISTING SITE AND SWPPP
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C3-20	UTILITY PLAN
C3-30	UTILITY SCHEDULES
C4-10	GRADING PLAN
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S2-13	FOUNDATION & SLAB DETAILS
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S6-21	ROOF FRAMING DETAILS
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P0-00	DIV 22 23 SYMBOLS / ABBREVIATIONS
P2-11	SANITARY PLUMBING PLANS
P2-21	FIRST FLOOR DOMESTIC WATER PLAN
P3-11	PLUMBING ISOMETRICS
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E2-11	FIRST FLOOR POWER AND LIGHTING PLANS
E4-12	ELECTRICAL DETAILS
E4-13	ELECTRICAL SYMBOLS, SCHEDULES, AND RISER DIAGRAM

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PROJECT

## CITY OF APPLETON LUNDGAARD PARK PHASE 2

APPLETON WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	24-30456
FILE NAME	30456 Arch R24.rvt
DRAWN BY	AFC
DESIGNED BY	AFC
REVIEWED BY	AFC
ORIGINAL ISSUE DATE	03/06/25
CLIENT PROJECT NO.	

TITLE


## TITLE SHEET, SHEET INDEX, PROJECT GENERAL NOTES

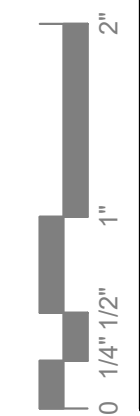
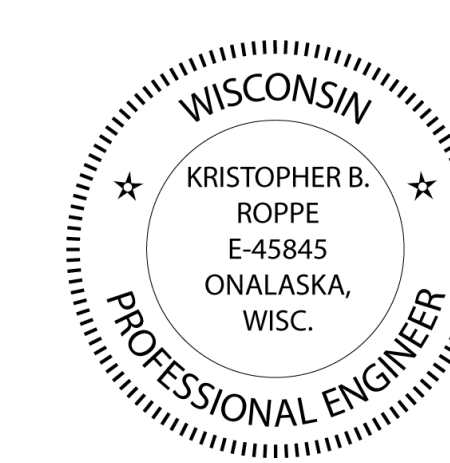
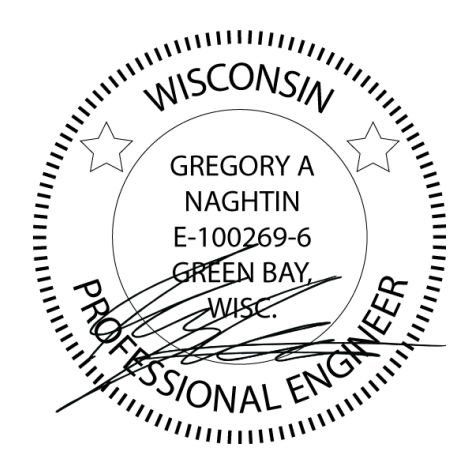
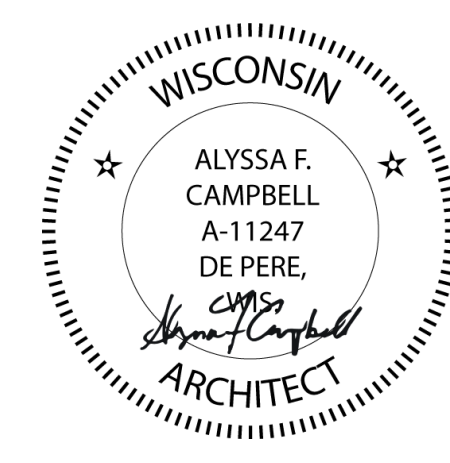
SHEET

# G1-10

## Exhibit B Architectural Drawings

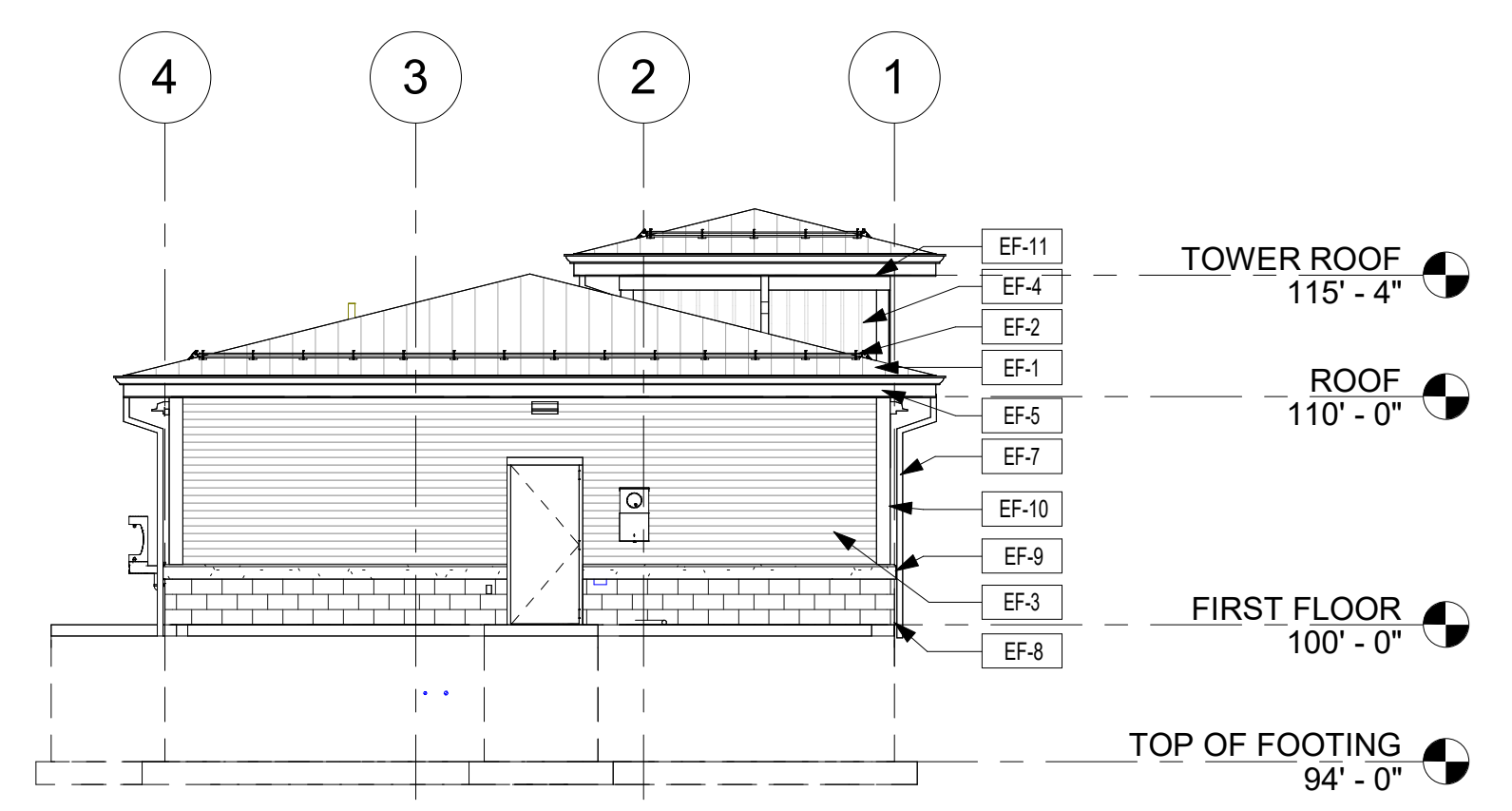
### PROJECT INDEX:

<p><b>OWNER:</b></p> <p>CITY OF APPLETON 1819 EAST WITZKE BOULEVARD APPLETON, WISCONSIN 54911</p>	<p><b>PROJECT ADDRESS:</b></p> <p>LUNGAARD PARK PAVILION 4900 N LIGHTNING DR APPLETON, WISCONSIN 54913</p>	<p><b>MANAGING OFFICE:</b></p>  <p><b>GREEN BAY OFFICE</b> 115 PINE STREET SUITE 300 GREEN BAY, WISCONSIN 54301 PHONE: 920.434.2128 PROJECT MANAGER: LUKE PAPILLON EMAIL: LUKE.PAPILLON@ISG.COM</p>
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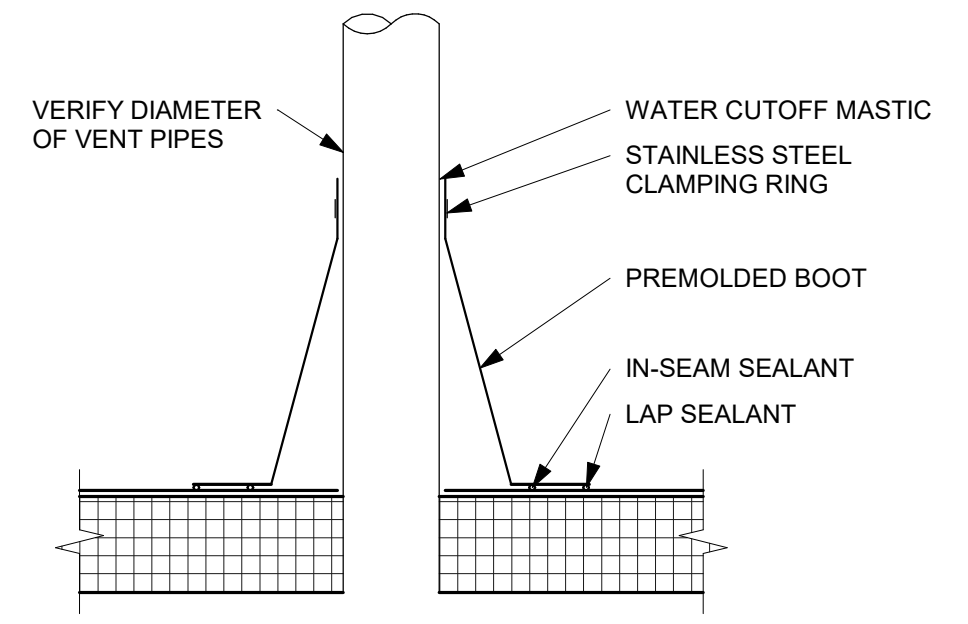




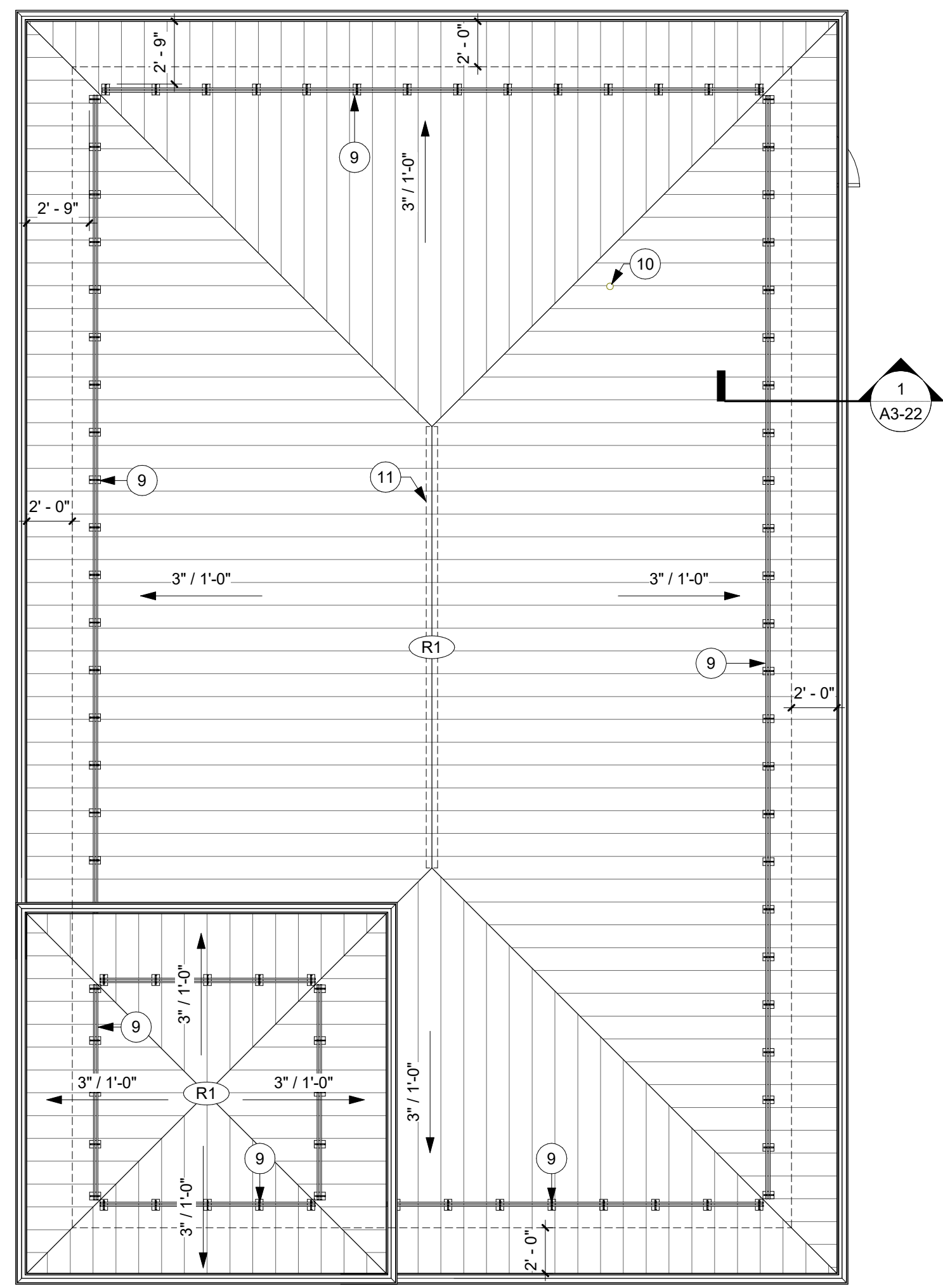
KEYNOTE LEGEND	
9	ROOF SNOW GUARD
10	MECH PIPING THROUGH ROOF. REFER TO DETAIL 5/A1-71. REFER TO MECH DRAWINGS.
11	ROOF RIDGE VENT
14	DASHED LINES REPRESENT EXTENTS OF MOCKUP



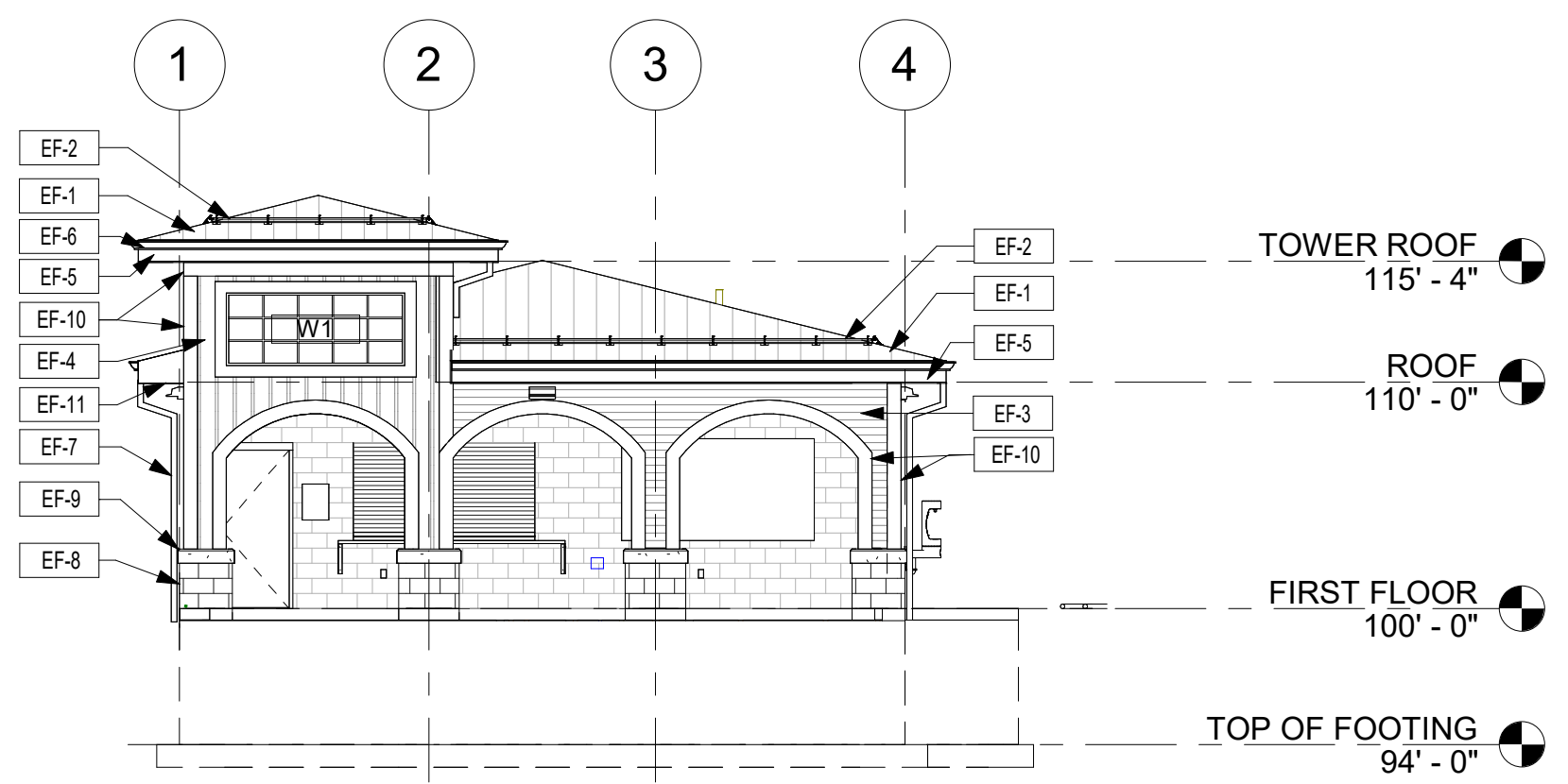
1 NORTH ELEVATION  
1/8" = 1'-0"



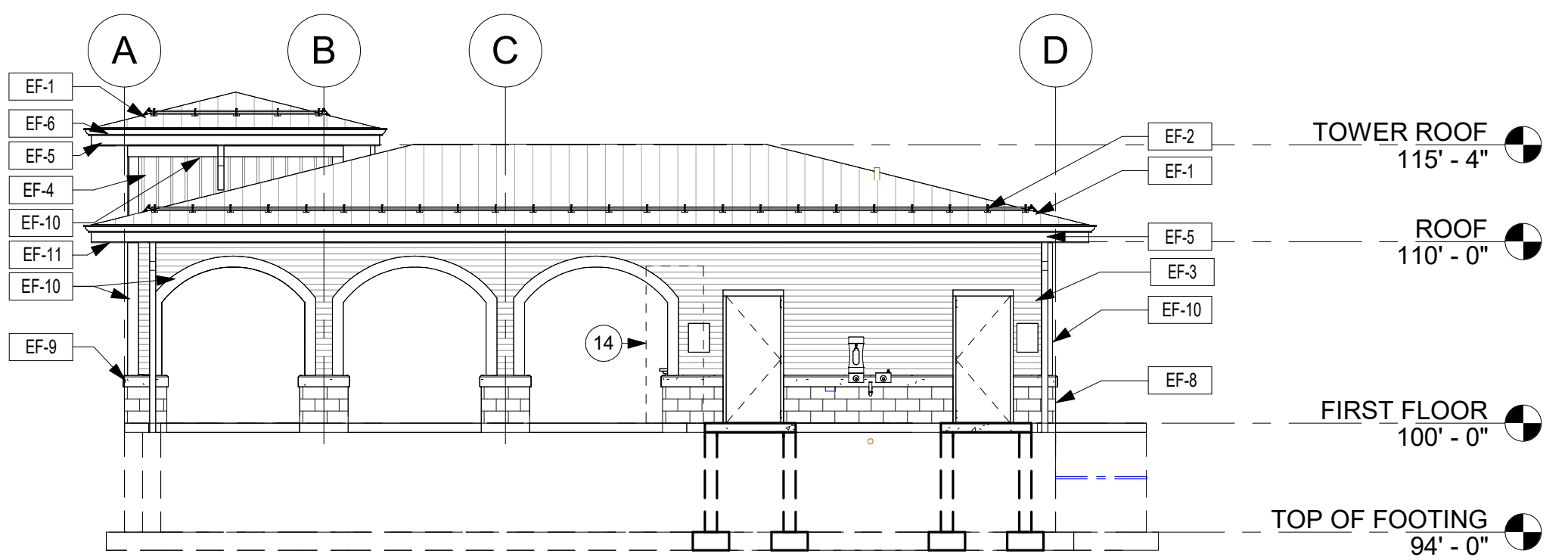
5 PIPING THROUGH ROOF  
1 1/2" = 1'-0"



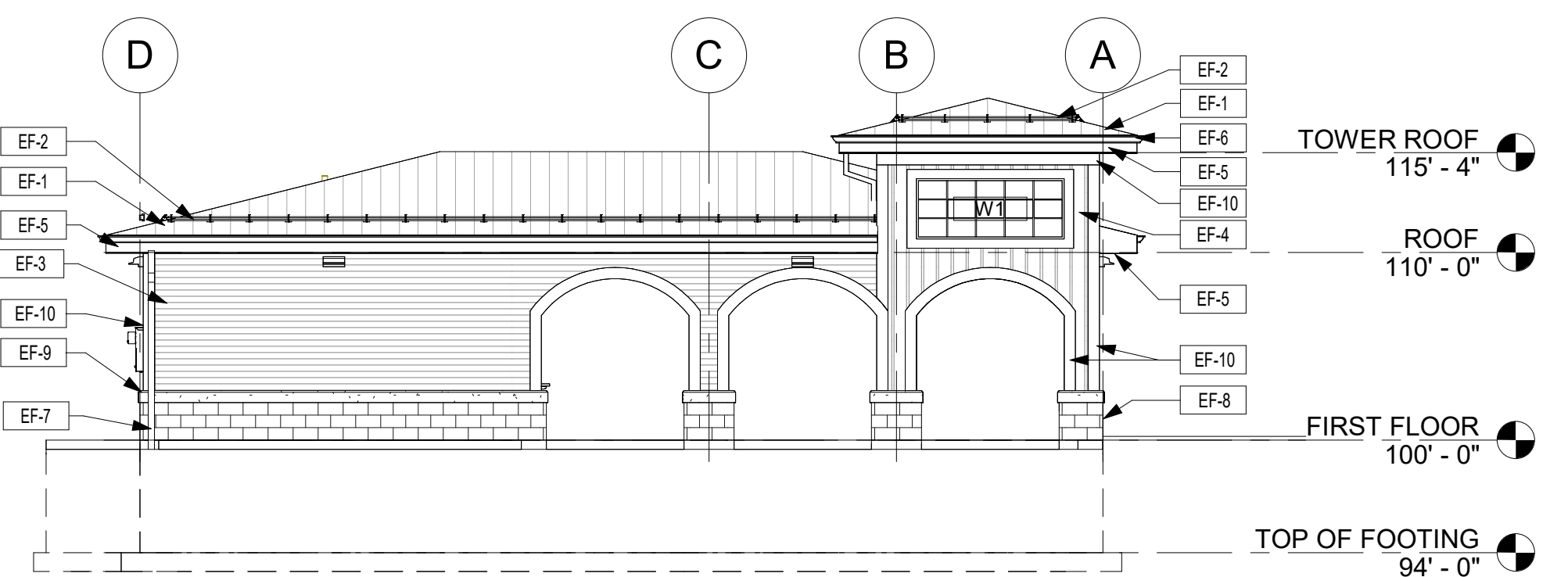
6 ROOF PLAN  
3/16" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"



3 EAST ELEVATION  
1/8" = 1'-0"



4 WEST ELEVATION  
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE					
MARK	MATERIAL TYPE	MANUFACTURER	MODEL / SIZE	COLOR	COMMENTS
EF-1	METAL	ENGLERT	A1000	COLONIAL RED	
EF-2	ROOF SNOW GUARD	SNO-BLOX	SNOBAR	COLONIAL RED	
EF-3	HORIZONTAL HARDWOOD CLAPBOARD SIDING	JAMES HARDIE	LAP/SMOOTH/6"	TIMBER BARK	
EF-4	BOARD AND BATTEN COMPOSITE SIDING	JAMES HARDIE	PANEL/SMOOTH/8"	TIMBER BARK	
EF-5	FASCIA	ENGLERT		COLONIAL RED	
EF-6	OPEN FACE GUTTER			COLONIAL RED	
EF-7	DOWNSPOUT			TO MATCH EF-3	REFER TO CIVIL PLANS FOR TIE-IN LOCATIONS
EF-8	BURNISHED BLOCK	COUNTY MATERIALS CORPORATION	PREMIERE ULTRA BURNISHED BLOCK		
EF-9	SILL	COUNTY MATERIALS CORPORATION	HORIZON SMOOTH FACE		
EF-10	7 1/4" TRIM BOARD	JAMES HARDIE		COBBLESTONE	
EF-11	SOFFIT	ENGLERT		COLONIAL RED	

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PROJECT  
**CITY OF APPLETON LUNDBGAARD PARK PHASE 2**

APPLETON WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 24-30456  
FILE NAME 30456 Arch R24.rvt  
DRAWN BY CJE  
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ORIGINAL ISSUE DATE 03/06/25  
CLIENT PROJECT NO.

TITLE  
**ROOF PLAN AND EXTERIOR ELEVATIONS**

SHEET  
**A1-71**

