

ARTICLE IX. OFF-STREET PARKING AND LOADING

Sec. 23-172. Off-street parking and loading standards.

(a) **Purpose.** The purpose of this section is to prevent or alleviate the congestion of the public streets and promote the safety and welfare of the public by establishing minimum requirements for off-street parking and loading spaces according to the use of the property and to promote safety and convenience for people by requiring that off-street parking spaces and driveways be located and constructed according to consistent standards for visibility, accessibility and safety.

(b) **Applicability.**

- (1) All uses hereafter established, reconstructed, expanded, or changed in use shall provide off-street parking spaces, bicycle parking spaces and loading spaces in accordance with the applicable standards set forth in this chapter, unless otherwise stated in this chapter.
- (2) All off-street parking lots and spaces, bicycle parking spaces and loading spaces shall be maintained, overlaid, resurfaced, rehabilitated, constructed, reconstructed or expanded in accordance with the applicable standards set forth in this chapter, unless otherwise stated.

(c) **Provisions for nonconforming off-street parking lots, or loading areas.**

- (1) Provisions for maintenance, overlays, resurfacing, rehabilitation, reconstruction or expansions of nonconforming off-street parking lots or loading areas are found under the Nonconforming Buildings, Structures, Uses and Lots section of this chapter.

(d) **Exceptions to design standards.** The following are exempt from the design standards of this chapter.

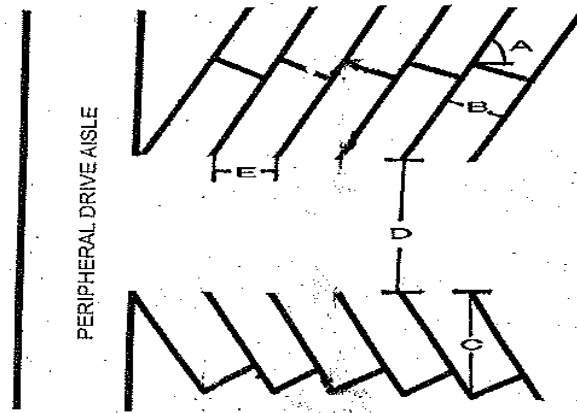
- (1) Due to the primarily pedestrian orientation of the Central Business District (CBD), provision for off-street parking and loading spaces are not required for uses in the CBD. However, new or expanded parking lots and loading areas in the CBD shall comply with the off-street parking and loading requirements of this section, including standards governing design, interior landscaping, and perimeter landscaping.
- (2) Parking ramps and underground parking facilities. Shall be exempt from dimensional and landscaping requirements of this section, but all other requirements of this section shall be complied with.
- (3) Semi truck and trailer parking areas within industrial districts and designed solely for semi-truck and trailer parking shall be exempt from dimensional, striping, surfacing and interior landscaping requirements, provided all of the following requirements are complied with.
 - a. The entrance must be asphalt or concrete for at least the first twenty-five (25) feet from the right-of-way.
 - b. All loading areas must be asphalt or concrete.
 - c. The gravel must be periodically graded and maintained in a dust free manner, free of debris, weeds and other plant materials.
 - d. The street adjoining the driveway must be free of gravel from the parking lot.
 - e. A gravel semi-truck and trailer parking area shall not be located adjacent to a residentially zoned parcel.

(e) **Design standards.** All off-street parking spaces and off-street parking lots or areas shall conform to the following design requirements, unless otherwise stated in this chapter:

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**Table 1
Off-Street Parking Spaces**

Angle A (in degrees)	Width B	Depth C	Aisle D		Stall E
			One Way	Two Way	
0	9 feet	N/A	12 feet	22 feet	22 feet
45	9 feet	19 feet	13 feet	22 feet	12½ feet
60	9 feet	20½ feet	18 feet	24 feet	10½ feet
90	9 feet	18 feet	24 feet	24 feet	9 feet



- (1) **Dimensions.** The minimum dimensional standards for off-street parking spaces shall be as identified in Table 1, Off-Street Parking above.
- (2) **Striping.** All off-street parking spaces shall be striped according to the standards of Table 1, Off-street Parking Spaces of this section to facilitate the movement into and out of the off-street parking spaces.
- (3) **Maneuvering.** All off-street parking spaces shall be designed to provide all maneuvering to occur within the property line(s). Vehicles shall not back into the public right-of-way from an off-street parking lot or parking space. Alleys are an exception to this provision, as maneuvering may occur within alley right-of-way when authorized by the Director of the Department of Public Works or designee.
- (4) **Parking space for handicapped.** Any off-street parking lot, parking ramp or underground parking facility to be used by the general public shall provide parking spaces designated and located to adequately accommodate the handicapped. These spaces shall comply with the current edition of the International Code Council/American National Standards Institute (ICC/ANSI) as adopted by the State of Wisconsin and the current Federal standards of the Americans with Disabilities Act Accessibility Guidelines (ADAAG).
- (5) **Drainage.** All off-street parking areas shall provide for proper drainage of surface water to prevent the drainage of such water onto adjacent properties and onto sidewalks unless this requirement is waived by the Director of Public Works or their designee. On-site storm drainage shall be provided in accordance with the State Plumbing Code, City Plumbing Code, and the City Stormwater Management Ordinance.
- (6) **Protection Devices.**
 - a. Barriers, curbing, guardrails or wheel stops may be installed and so located as to prevent any portion of a vehicle from projecting beyond property lines, into any required landscaping and screening, or into a

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pedestrian space. Such barriers, curbing or wheel stops shall be constructed and anchored to prevent their dislocation.

- b. When guardrails are installed, they shall be installed in accordance with all of the following provisions:
 - i. Guardrails shall abut the paved off-street parking lot, parking space, loading space or driveway surface and shall be located adjacent to a side or rear lot line.
 - ii. Landscape buffering or fencing shall be installed between the guardrail and a residentially zoned property line.
 - iii. Guardrails shall not exceed three (3) feet in height.
 - iv. Guardrails may be constructed of naturally resistant or treated wood board, galvanized metal, wrought iron, brick, natural stone, masonry, or other material as approved by the Community and Economic Development Director.

(7) **Surface areas for off-street parking spaces.** Off-street parking spaces and driveways, shall be concrete, asphalt, or another permeable hard surface as approved by the Community and Economic Development Director.

(8) **Fire access lanes.** Fire access lanes located outside of an off-street parking lot and constructed for the purpose of fire access may be constructed with an alternative surface material as required by §23-172(f)(7) if approved by the Fire Department.

(9) **Lighting.** All outdoor lighting shall comply with the outdoor lighting requirements of this chapter.

(10) **Snow storage.** Snow storage must be provided on-site or a letter from the owner of the property stating the method to remove the snow from the site in a timely fashion must be approved by the Community and Economic Development Director. Snow storage areas will be reviewed to ensure the continued health of plant materials and for their impact on drainage and vehicular circulation.

(11) **Stop sign.** When access is obtained from a collector or arterial street, a stop sign is required to be erected on the property by the owner. Stop signs shall be installed and maintained in accordance with the Federal Highway Administration Manual of Uniform Traffic Control Devices, the latest version.

(f) **Interior parking lot landscaping.**

(1) All parking lots designed for twenty (20) or more parking spaces shall be landscaped in accordance with the following interior parking lot standards.

- a. Five percent (5%) of the minimum square footage of the paved area of the off-street parking lot shall be devoted to interior landscape islands.
- b. The primary plant materials shall be shade or ornamental trees with at least one (1) shade tree for every two hundred (200) square feet of interior landscape island area, except in cases where drainage, stormwater, or utility features preclude the planting of trees.
- c. The interior landscape islands shall be dispersed throughout the off-street parking lot to the satisfaction of the Community and Economic Development Director.

(2) All off-street parking lots designed for nineteen (19) off-street parking spaces or less shall provide landscaping as deemed appropriate by the Community and Economic Development Director.

(g) **Perimeter parking lot and loading space landscaping.** Perimeter off-street parking lot landscaping shall be installed on the property, outside of the street right-of-way.

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- (1) The minimum width of the perimeter landscape buffer adjacent to the right-of-way and/or abutting zoning districts shall be as stated in Table 2, Parking Lot and Loading Space Buffering Requirements.
- (2) When adjacent to a residential zoning district in the rear and/or side yard, perimeter landscape buffer shall be required as stated in Table 2, Parking Lot and Loading Space Buffering Requirements.
- (3) When adjacent to an institutional, commercial or industrial zoning district in the rear and/or side yard, perimeter landscape buffer shall be required as stated in Table 2, Parking Lot and Loading Space Buffering Requirements.
- (4) Perimeter landscaping shrubs must reach three (3) feet in height and screen the right-of-way from the adverse effects of the parking lot within two (2) years of planting. The shrubs shall be a minimum of two (2) feet in height at the time of planting.
- (5) A side and/or rear yard minimum perimeter landscape buffer may be waived if a cross access easement agreement between adjoining property owners is recorded and submitted to the Community and Economic Development Department for review.

(h) **Maintenance.** All off-street parking lots shall be maintained by the property owner in good condition without holes or faded striping and free of all weeds, standing water, trash, abandoned or junk vehicles and other debris.

Table 2 Parking Lot Buffering Requirements

When the Zoning District is:	Location is:	A Minimum Perimeter Landscape Buffer	Perimeter Landscaping Materials
C-O, M-1, M-2, P-I	Abutting R-1A, R-1B, R-1C, R-2, or R-3 zoned lot in the rear and/or side yard	Fifteen (15) feet in width	Minimum five (5) foot high staggered row of evergreens at the time of planting, to provide an opaque screen OR The property owner may request a waiver from the Community and Economic Development Director to reduce the minimum perimeter landscape strip by 50% and provide a minimum six (6) foot high alternating board on board fence with landscaping, with the landscaping facing the adjacent property.
C-1, C-2, CBD, AG, P, NC	Abutting R-1A, R-1B, R-1C, R-2, or R-3 zoned lot in the rear and/or side yard	Ten (10) feet in width	One (1) deciduous shade tree or ornamental tree shall be planted for every fifty (50) feet on center. Trees can be provided in cooperation with adjacent property.
C-O, C-1, C-2, M-1, M-2, P-I, CBD, AG, P, NC	Abutting C-O, C-1, C-2, M-1, M-2, P-I, CBD, AG, P or NC zoned lot in the rear and/or side yard	Five (5) feet in width	One (1) deciduous shade tree or ornamental tree shall be planted for every forty (40) feet on center the property abuts a dedicated public street plus a two (2) to three (3) feet high staggered row of evergreens at the time of planting shall be provided across 80% of the frontage of the parking lot excluding driveways to provide an opaque screen.
C-O, C-1, C-2, M-1, M-2, CBD, P-I, AG, P, NC	Across the street from R-1A, R-1B, R-1C, R-2 or R-3 zoned lot	Eight (8) feet in width adjacent to the right of way	One (1) deciduous shade tree or ornamental tree shall be planted for every forty (40) feet on center the
	Across the street from C-O, C-1, C-2, P, NC, M-1, AG, CBD, P-I or		One (1) deciduous shade tree or ornamental tree shall be planted for every forty (40) feet on center the

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When the Zoning District is:	Location is:	A Minimum Perimeter Landscape Buffer	Perimeter Landscaping Materials
C-O, C-1, C-2, P-I, M-1, M-2, CBD, AG, P, NC	M-2 zoned lot	Eight (8) feet in width adjacent to the right of way	property abuts a dedicated public street plus a two (2) to three (3) feet high staggered row of evergreens and/or deciduous shrubs at the time of planting shall be provided across 80% of the frontage of the parking lot excluding driveways to provide an opaque screen.
Ag, R-1A, R-1B, R-1C, R-2, R-3	Abutting R-1A, R-1B, R-1C or R-2 zoned lot in the rear and/or side yard	Ten (10) feet in width	Minimum five (5) foot high staggered row of evergreens at the time of planting, to provide an opaque screen; OR The property owner may request a waiver from the Community and Economic Development Director to reduce the minimum perimeter landscape strip by 50% and provide a minimum six (6) foot high alternating board on board fence with landscaping, with the landscaping facing the adjacent property.
Ag, R-1A, R-1B, R-1C, R-2, R-3	Abutting R-3, P-I, C-O, C-1, C-2, CBD, M-1, M-2, AG, P or NC zoned lot in the rear and/or side yard	Five (5) feet in width	One (1) deciduous shade tree or ornamental tree shall be planted for every fifty (50) feet on center. Trees can be provided in cooperation with adjacent property.
Ag, R-1A, R-1B, R-1C, R-2, R-3	Across the street from R-1A, R-1B, R-1C or R-2 zoned lot	Eight (8) feet in width adjacent to the right of way	One (1) deciduous shade tree or ornamental tree shall be planted for every forty (40) feet on center the property abuts a dedicated public street plus a two (2) to three (3) feet high staggered row of evergreens at the time of planting shall be provided across 80% of the frontage of the parking lot excluding driveways to provide an opaque screen.
Ag, R-1A, R-1B, R-1C, R-2, R-3	Across the street from P-I, C-O, C-1, C-2, CBD, M-1, M-2, AG, P or NC zoned lot	Eight (8) feet in width adjacent to the right of way	One (1) deciduous shade tree or ornamental tree shall be planted for every forty (40) feet on center the property abuts a dedicated public street plus a two (2) to three (3) feet high staggered row of evergreens and/or deciduous shrubs at the time of planting shall be provided across 80% of the frontage of the parking lot excluding driveways to provide an opaque screen.

(i) *Off-site parking spaces.* The following regulations shall apply to off-site parking spaces and areas:

- (1) Off-street parking spaces for all residential uses shall be located on the same lot as the use to which they are associated.

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- (2) Off-street parking spaces for commercial, industrial or public institutional uses shall be located not more than five hundred (500) feet from the property line of the use being served.
- (3) Where such off-site parking spaces are provided, the minimum number of required off-street parking spaces for the use(s) for which the lot is intended to serve shall not be reduced below the minimum required off-street parking spaces for all uses as indicated in this section.
- (4) Where such off-site parking spaces are provided on a separate lot to comply with the minimum off-street parking space requirements, shall be guaranteed by written agreement between the owner of the parking lot and the owner of any use located on a separate parcel and served the off-street parking lot. This written agreement may be in the form of a lease, contract, easement or similar instrument, of which the form and duration shall be subject to review and approved by the Community and Economic Development Director.
- (5) The property owners shall record the approved off-site parking space agreement in the County Register of Deeds Office, and shall provide one (1) copy of the recorded document to the Community and Economic Development Department.
- (6) Any subsequent change in use shall require proof that the minimum parking requirements, per this chapter, have been met for each use of if the owner of a building or use no longer has the right to maintain or use off-site parking spaces on a separate parcel, the owner of a building or use shall have one hundred eighty (180) days within which to accommodate all required off-street parking spaces or to apply for a variance. If the owner is unable to accommodate the off-street parking spaces, or fails to apply for a variance, then the occupancy permit shall be revoked with respect to the building or use for which the separate off-street parking was required. The occupancy permit shall be reinstated when all applicable provisions of this chapter are complied with. As an alternative, a new off-site parking agreement may be arranged in accordance with this chapter.

(j) ***Determination of required off-street parking spaces.*** In computing the number of off-street parking spaces required by this chapter, the following shall apply:

- (1) Where floor area is designated as the standard for determining parking space requirements, floor area shall be the sum of the gross square footage of all floors that may be occupied of a building.
- (2) Where maximum capacity is designated as the standard for determining off-street parking space requirements, the maximum capacity shall mean the maximum number of persons permitted to occupy the building under the International Building Code (IBC) and the International Fire Code (IFC), whichever is more restrictive, currently used by the City.
- (3) Where the number of employees is designated as the standard for determining off-street parking space requirements, the number of employees on the largest shift shall be used for calculation purposes.
- (4) Fractional numbers shall be increased to the next highest whole number.
- (5) An applicant may request an administrative adjustment for a reduction in the number of parking spaces required by §23-172(m). The request shall be submitted in writing and provide justification for the reduction, including estimates of parking demand or other acceptable data as approved by the Community and Economic Development Director. Sources of data may include, but are not limited to, the Institute of Transportation Engineers or Urban Land Institute. Community and Economic Development staff may approve up to a twenty percent (20%) reduction. Any reductions greater than 20% shall require a variance from the Board of Appeals.

(k) ***Determination of parking standards not specified.*** Off-street parking space requirements for a use not specifically mentioned in this chapter shall be determined by using the most similar and restrictive off-street parking space requirement as specified by the Community and Economic Development Director based on the intended use, the location of the use, and the expected patronage or use by individuals operating motor vehicles.

(l) ***Applicability of bicycle parking space requirements.*** All uses, except for single and two-family dwellings, hereafter established, reconstructed, expanded, changed in use shall provide bicycle parking spaces in accordance with the

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standards set forth in this chapter, unless otherwise stated in this chapter. The Central Business District (CBD) is exempt from the bicycle parking standards.

(1) **Design requirements:**

- a. **Surfacing:** Bicycle parking spaces shall be concrete, asphalt or other hard surface such as permeable pavers.
- b. **Location:** Required bicycle parking spaces may be located indoors or outdoors and must be located on private property.
- c. **Rack/Locker/Support Design:**
 - i. For each bicycle parking space required, a stationary rack(s) shall be provided which can accommodate bicyclists' locks securing the frame and/or wheels, or a lockable enclosure in which the bicycle is stored shall be provided.
 - ii. All bicycle racks, lockers, or other facilities shall be securely anchored to the ground or a structure which must hold bicycles securely by means of the frame.

(m) **Required spaces for specific uses.** All vehicles connected with the following uses shall be accommodated for on the property in addition to the requirements stated below unless otherwise stated in this chapter. Additional parking as determined by the Community and Economic Development Director may be required to meet these standards. The table on the following page identifies the minimum number of off-street parking spaces to be provided.

Use Type	Minimum Off-Street Parking Spaces Required
Residential	
Adult family home	Up to three (3) bedrooms - Two (2) spaces for each dwelling unit.
	Four (4) or more bedrooms – Three (3) spaces for each dwelling unit.
Bed and breakfast establishment	Two (2) spaces for each dwelling unit plus one (1) space for each tourist room with screening approved by Community and Economic Development Director
Dwelling, multi-family	Up to two (2) bedrooms – One space for each dwelling unit.
	Three (3) or more bedrooms – Two (2) spaces for each dwelling unit.
	Visitor parking – One (1) space for every two (2) dwelling units.
Dwelling, single-family detached and zero lot line two-family dwellings	Up to three (3) bedrooms - Two (2) spaces for each dwelling unit
	Four (4) or more bedrooms – Three (3) spaces for each dwelling unit
Dwelling, two-family	Up to three (3) bedrooms – Two (2) spaces for each dwelling unit
	Four (4) or more bedrooms – Three (3) spaces for each dwelling unit
Residential care apartment complex	Up to two (2) bedrooms – One (1) space for each dwelling unit
	Three (3) or more bedrooms – Two (2) spaces for each dwelling unit
Use Type	
Minimum Off-Street Parking Spaces Required	
Public/Institutional	
Assisted living facility, nursing or convalescent home	One (1) space for every three (3) residents based on the maximum number of residents allowed by license.
Auditoriums, stadium, gymnasium	One (1) space for every five (5) persons based on maximum capacity
Bus terminal	One (1) space for each five hundred (500) square feet of gross floor area or one (1) space for every five (5) seats; whichever is greater
Cemetery Chapel	One (1) space for every six (6) persons based on maximum capacity
Club	One (1) space for every five (5) persons based on maximum capacity

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Community-based residential facility or community living arrangement	One (1) space for every three (3) residents based on the maximum number of residents allowed by license.
Dormitories	One (1) space for every six (6) occupants.
Educational institution; business, technical or vocational	Classrooms – One (1) space for every three (3) seats based on maximum capacity
	Gymnasiums/auditoriums – One (1) space for every five (5) persons based on maximum capacity
Educational institution; college or university	Classrooms – One (1) space for every three (3) seats based on maximum capacity
	Gymnasiums/auditoriums – One (1) space for every five (5) persons based on maximum capacity
Educational institution; elementary school or middle school	Classrooms – One (1) space for each classroom
	Gymnasiums/auditoriums – One (1) space for every five (5) persons based on maximum capacity
	Stacking spaces – A minimum of two (2) stacking spaces shall be provided for busses and five (5) for automobiles in a designated drop off area
Educational institution; high school	Classrooms – Three (3) spaces for each classroom
	Gymnasiums/auditoriums – One (1) space for every five (5) persons based on maximum capacity
	Stacking spaces – A minimum of two (2) stacking spaces shall be provided for busses and five (5) for automobiles in a designated drop off area
Golf course	Four (4) spaces for each hole
	Clubhouse – One (1) space for every four (4) persons based on maximum capacity.
Governmental facility	Shall be provided at a ratio of same or similar uses listed in this chapter
Museum	One (1) space for each five hundred (500) square feet of gross floor area
Hospital	One (1) space for each bed plus one (1) space for each two hundred (200) square feet in any emergency room and/or outpatient area
Place of worship	One (1) space for each eight (8) persons based on maximum capacity in the main place of assembly
Recreational facility, non-profit	One (1) space for each five (5) persons based on maximum capacity
Registered historic place	One (1) space for each four hundred (400) square feet of usable floor area open to the public

Use Type	Minimum Off-Street Parking Spaces Required
Commercial	
Amusement arcade	One (1) space for each five (5) persons based on maximum capacity
Automobile maintenance shop	Four (4) spaces for each service bay.
Automobile, RV, truck, cycle, boat sales and display lot or rental lot	One (1) space for each four hundred (400) square feet of gross floor area under roof plus one (1) space for each two thousand (2,000) square feet of open sales lot area devoted to the sale and display of vehicles
Bar – See Tavern	
Body repair and/or paint shop	Four (4) spaces for each service bay
Car wash	Drive-in – Six (6) stacking spaces for each washing bay
	Self-service – Three (3) stacking spaces for each washing bay
Commercial entertainment, Indoor	One (1) space for each three (3) seats or one space for each two hundred (200) square feet of gross floor area whichever is greater
Commercial entertainment, Outdoor	One (1) space for each three (3) seats or one space for each two hundred (200) square feet of outdoor entertainment area, whichever is greater
Commercial entertainment, combination of indoor and outdoor	One (1) space for each three (3) seats or one space for each two hundred (200) square feet of gross floor area or outdoor entertainment area,

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Use Type	Minimum Off-Street Parking Spaces Required
Commercial	
	whichever is greater
Craft-Distillery	One (1) space for each three (3) persons based on maximum capacity.
Day care center, adult	One (1) space for each employee plus one (1) space for each five (5) persons based on maximum capacity
Day care center, group	One (1) space for employee plus one (1) space for each five (5) children based on the maximum number of children allowed by license.
Gasoline sales	Two (2) spaces located at each pump.
Greenhouse/greenhouse nursery	One (1) space for every one thousand (1,000) gross square feet of sales area
Hotel/motel	One (1) space for each sleeping room plus
	Restaurants/taverns – One (1) space for each three (3) persons based on maximum capacity
	Meeting rooms/assembly areas – One (1) space for every five (5) persons based on maximum capacity
Kennel, indoor or outdoor	One (1) space for each employee plus one (1) space for ten (10) animals served
Marina	One (1) space for two (2) boat slips
Microbrewery/Brewpub	One (1) space for each three (3) persons based on maximum capacity
Office	One (1) space for each three hundred (300) square feet of gross floor area
Painting/Craft studios	One (1) space for each three (3) persons allowed based on maximum capacity
Personal service	One (1) space for each two hundred fifty (250) square feet of gross floor area
Personal storage	One (1) space for every five (5) rental or leasable storage units
Printing	One (1) space for each two hundred fifty (250) square feet of gross floor area
Professional service	One (1) space for each two hundred fifty (250) square feet of gross floor area
Recycling and waste recovery center	One (1) space for each five hundred (500) square feet of gross floor area
Restaurant	One (1) space for each three (3) persons allowed based on maximum capacity
Restaurant, fast food	One (1) space for each two (2) persons allowed based on maximum capacity
Retail business	One (1) space for each two hundred fifty (250) square feet of gross floor area
Sexually-oriented establishment	One (1) space for each three (3) persons based on maximum capacity
Shopping center	Under 100,000 square feet of gross floor area – One (1) space for each two hundred fifty (250) square feet of gross floor area
	100,000 square feet to under 250,000 square feet of gross floor area – One (1) space for each three hundred (300) square feet of gross floor area
	Over 250,000 square feet of gross floor area – One (1) space for each four hundred (400) square feet of gross floor area
Tasting room	One (1) space for each three (3) persons allowed based on maximum capacity
Tavern	One (1) space for each three (3) persons allowed based on maximum capacity
Towing business	One (1) space for each employee plus sufficient space for vehicles towed
Veterinarian clinic	One (1) space for each examination room plus one (1) space for each two hundred (200) square feet of gross floor area
Wholesale facility	One (1) space for each one thousand (1,000) square feet of gross floor area
Winery	One (1) space for each three (3) persons based on maximum capacity

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Use Type	Minimum Off-Street Parking Spaces Required
Industrial	
Asphalt plant	One (1) space for each employee on the largest shift
Brewery	One (1) space for each one (1) employee on the largest shift, plus three (3) visitors spaces, plus space to accommodate all company vehicles in connection therewith
Bulk flammable or combustible liquid storage or distribution facility	One (1) space for each employee on the largest shift
Concrete mixing	One (1) space for each employee on the largest shift
Distillery	One (1) space for each one (1) employee on the largest shift, plus three (3) visitors spaces, plus space to accommodate all company vehicles in connection therewith
Freight distribution or moving center	One (1) space for each one thousand (1,000) square feet of gross floor area
Manufacturing; custom, light or heavy	One (1) space for each one (1) employee on the largest shift, plus three (3) visitors spaces, plus space to accommodate all company vehicles in connection therewith
Research laboratory or testing facility	One (1) space for each five hundred (500) feet of gross floor area
Salvage yard or junk facility	One (1) space for each employee on the largest shift plus space to accommodate all company vehicles in connection therewith
Warehouse (storage or distribution)	One (1) space for each employee on the largest shift plus three (3) visitor spaces plus space to accommodate all company vehicles in connection therewith

(n) **Applicability of off-street loading requirements.** All uses hereafter established, reconstructed, expanded, changed in use shall provide loading spaces or loading docks in accordance with the standards set forth in this chapter, unless otherwise stated in this chapter.

(1) **Design requirements:**

- a. **Size of off-street loading spaces:** Off-street loading spaces shall not be less than twelve (12) feet wide and thirty (30) feet long for commercial uses and not less than twelve (12) feet wide and sixty (60) feet long for manufacturing uses. Areas dedicated to off-street loading spaces shall be identified with pavement marking and/or signage, indicating that such space(s) are reserved for loading and unloading.
- b. **Surfacing:** All off-street loading spaces shall be constructed of a durable and dustless hard surface of asphalt, concrete, or other suitable materials capable of withstanding one thousand (1,000) pounds per square inch (psi).
- c. **Drainage:** All off-street loading spaces shall provide for proper drainage of surface water to prevent the drainage of such water onto adjacent properties and onto sidewalks, unless this requirement is waived by the Director of Public Works or their designee. On-site storm drainage shall be provided in accordance with the State Plumbing Code, City Plumbing Code, and the City Stormwater Management Ordinance.
- d. **Location:** All required off-street loading spaces shall be located on the same lot as the specific use to be served. In no case shall an off-street loading space be located within the required principal building front yard setback.
- e. **Screening:** Off-street loading spaces shall be screened in accordance with the following standards:
 - i. When abutting residentially zoned property, a masonry wall, solid fence, chain link fence with slats, row of evergreen shrubs, or a combination of the above, a minimum of eight (8) feet in height, shall be installed to screen the entire length of the loading space from abutting residentially zoned

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property. Such masonry wall, solid fence or slats shall complement the exterior of the principal building.

ii. When abutting non-residentially zoned properties, loading spaces shall be screened in accordance with the perimeter landscaping standards of Table 2 Parking Lot Buffering Requirements of this chapter, or with a masonry wall, solid fence, chain link fence with slats, row of evergreen shrubs, or a combination of the above, a minimum of eight (8) feet in height. Such masonry wall, solid fence or slats shall complement the exterior of the principal building.

iii. When abutting a right-of-way, loading spaces shall be screened in accordance with the perimeter landscaping standards of Table 2 Parking Lot Buffering Requirements of this chapter, or with a masonry wall, solid fence, chain link fence with slats, row of evergreen shrubs, or a combination of the above, a minimum of eight (8) feet in height. The buffer shall be installed between the loading space and the right-of-way. Such masonry wall, solid fence or slats shall complement the exterior of the principal building.

f. **Lighting:** All outdoor lighting shall comply with the outdoor lighting requirements of this chapter.

g. **Maneuvering:** All off-street loading spaces shall be designed so that all maneuvering occurs within the property line(s). Vehicles shall not back from or into the public right-of-way when accessing off-street loading spaces.

(2) **Required number of off-street loading spaces:**

a. **Personal services, professional services, hospitals and hotels or motels:**

i. One (1) space for each ten thousand (10,000) to fifty thousand (50,000) square feet of gross floor area.

ii. Two (2) spaces for each fifty thousand (50,000) to two hundred thousand (200,000) square feet of gross floor area.

iii. One (1) additional space for each seventy-five thousand (75,000) square feet of gross floor area in excess of two hundred thousand (200,000) square feet of gross floor area.

b. **Other commercial uses, warehouse and industrial uses:**

i. One (1) space for each five thousand (5,000) to twenty thousand (20,000) square feet of gross floor area.

ii. Two (2) spaces for each twenty thousand (20,000) to one hundred thousand (100,000) square feet of gross floor area.

iii. One (1) additional space for each seventy-five thousand (75,000) square feet of gross floor area in excess of one hundred thousand (100,000) square feet of gross floor area.

(o) **Size of stacking space.** The minimum size standard for a stacking space shall be at least nine (9) feet wide by nineteen (19) feet in length.

(Ord 121-05, §1, 10-25-05; Ord 90-07, §1, 5-8-07; Ord 166-07, §1, 12-25-07; Ord 163-08, §1, 10-7-08; Ord 212-11, §1, 9-27-11; Ord 234-11, §1, 12-27-11; Ord 49-20, §1, 3-24-20; Ord 50-20, §1, 3-24-20; Ord 51-20, §1, 3-24-20; Ord 52-20, §1, 3-24-20; Ord 53-20, §1, 3-24-20)

Editor's Note*: Article IX of Chapter 23, Off-street parking and loading was repealed and recreated by Ordinance 234-11, adopted by Council on December 21, 2011, published on December 26, 2011 and became effective on December 27, 2011.